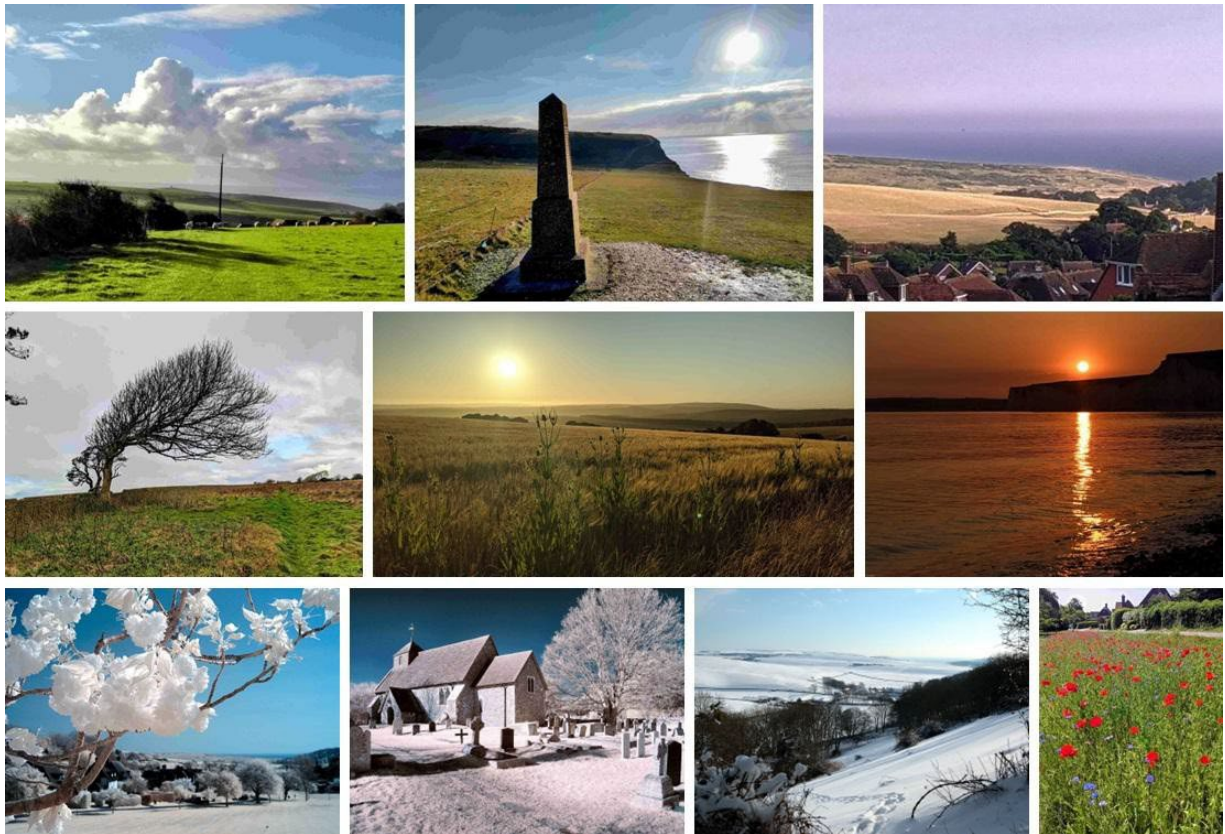




East Dean and Friston Neighbourhood Plan 2024 to 2042



Referendum Version

November 2025

**Prepared by the East Dean and Friston Neighbourhood Plan
Steering Group on behalf of East Dean and Friston Parish
Council**

Foreword

This Neighbourhood Plan documents the community's vision of how the Parish of East Dean and Friston, including Crowlink, Birling Gap and Gayles Farm, should evolve and thrive to meet the needs of its residents. Our plan will align with the plan produced by the South Downs National Park Authority but will have more local detail.

A Neighbourhood Plan gives local people a voice in defining planning policies. It aims to protect green spaces, encourage better designed housing and bring forward required development that genuinely meets local needs. Under the Government's Localism Act of 2011, every community in the country is encouraged to produce their own specific plan. Typically, these plans have a long-term outlook and for our parish, this plan will run from 2024 to 2042. However, whilst there is no legislative requirement to do so, the Plan may be reviewed every five years or so to make sure that it remains up-to-date and relevant, or on an exception basis if the Parish Council believe that a material change in circumstances warrants an amendment.

A Steering Group, set up by the East Dean and Friston Parish Council and with considerable support from the Residents' Association, has guided the development of our Neighbourhood Plan since starting the process in 2019. Feedback from the community, gained from a number of consultation sessions, has been central to its production.

Our Neighbourhood Plan describes the community's aspirations for change and development and calls for more sustainable design standards to protect our biodiversity and environment. In addition, it lists our cherished green spaces, views and heritage assets in order to help maintain and support the character of the parish. Also, it endeavours to support the businesses operating within the area, and to maintain and develop our sports and leisure facilities.

Once the plan is approved with a positive referendum result, we will be able to exert a very positive influence on any change and development that is proposed to occur in the parish over the lifetime of the plan.

Acknowledgements

The Steering Group has given many hours of their time: undertaking research, commissioning reports, consulting with residents and businesses, providing articles for Parish Magazine and for providing information and regular updates via both the Parish Council and Residents' Association websites.

The views expressed from these consultations and other feedback have been reflected in the policies and supporting text you will see in this plan.

We are enormously grateful to all those who have contributed so many thoughtful suggestions and opinions and for the continuing support of the Parish Councillors.

It is impossible to list here the many people who have contributed. In particular, our sincere thanks go to our planning consultant, Alison Eardley, who has guided through the complex process and to our Parish Clerk, Phil Burgess, our former Parish Clerk, Fiona Chalk, and to our administrative assistant, Katrina Larkin.

Last but not least, thanks are due to members of the Steering Group for their tireless commitment and key contributions:

- Lesley D'Urso (Vice Chair)
- Tim Pontin
- Jonathan Timberlake
- Cllr Michael Bustard (former Chair)
- Cllr Grant Fowler
- Cllr David White
- Cllr Naomi Baker

Cllr Paul Seeley

Chair of the Neighbourhood Plan Steering Group

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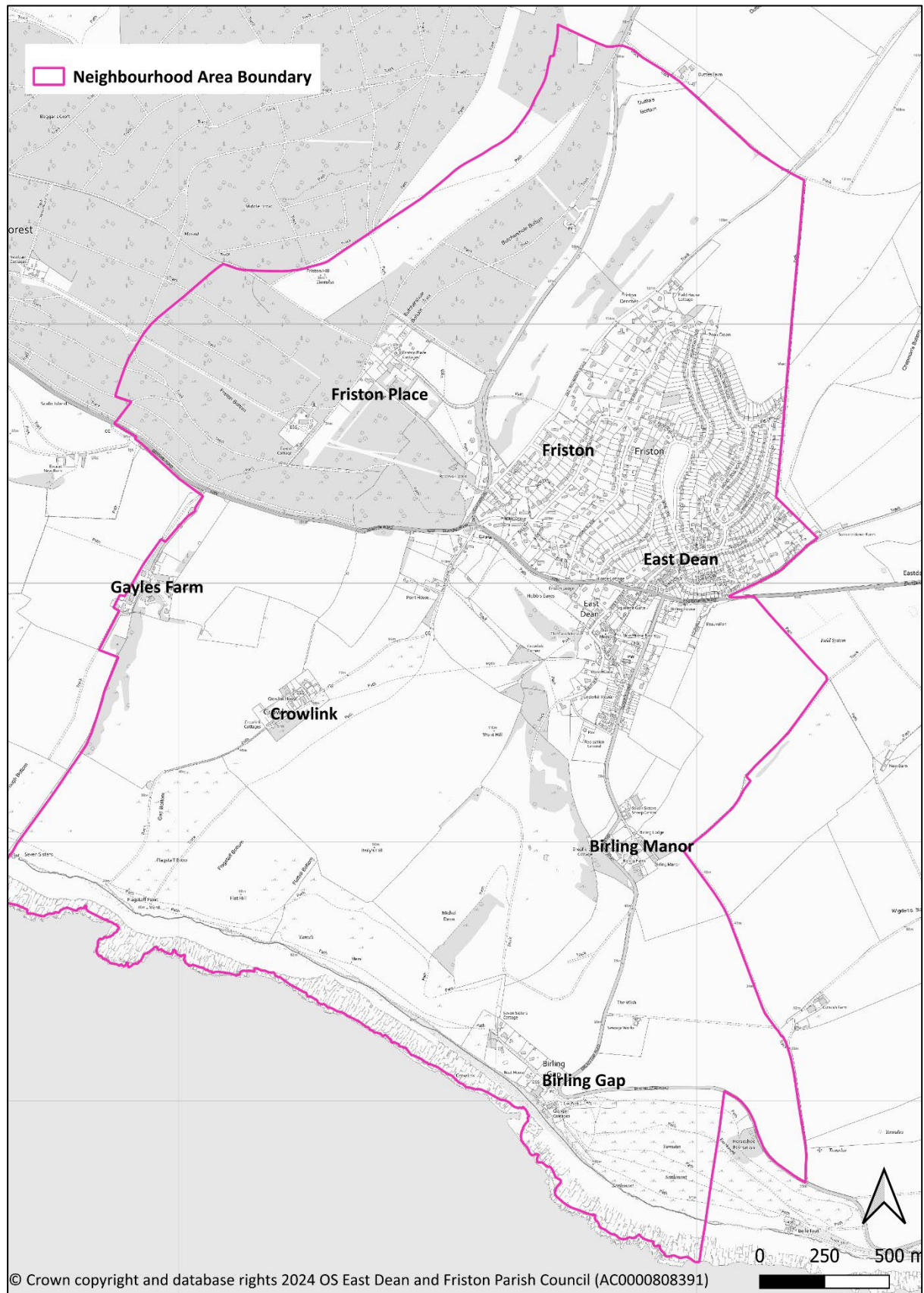
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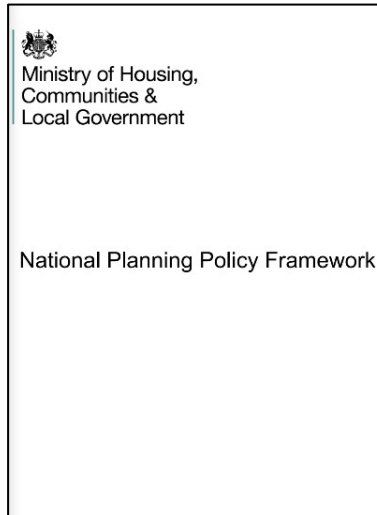
1. INTRODUCTION

- 1.1 This document is the East Dean and Friston Neighbourhood Plan (EDFNP). It sets out planning and land-use policy for the village and wider parish over the period 2024 to 2042, forming part of the development plan for the South Downs National Park. The South Downs National Park Authority (SDNPA), as the local planning authority, designated the East Dean and Friston neighbourhood area on 10 April 2019. The neighbourhood area shares its boundary with that of the Parish (*Figure 1*).
- 1.2 The EDFNP has been prepared in accordance with the Town & Country Planning Act 1990, the Planning & Compulsory Purchase Act 2004, the Localism Act 2011 and the Neighbourhood Planning (General) Regulations 2012 (as amended). East Dean and Friston Parish Council, as the qualifying body, set up a Neighbourhood Plan Steering Group comprising local councillors and volunteers from the community, to lead on the preparation of the Plan. In consultation with the community, local businesses and others, the Steering Group has established a vision and framework for the future of the parish and set out how that vision will be realised through planning land use and development change over the period 2024 to 2042.
- 1.3 The EDFNP policies form part of the development plan for the South Downs National Park and must be considered by any interested parties wishing to submit planning applications for development within East Dean and Friston parish.
- 1.4 The process of producing the EDFNP has sought to involve the community as widely as possible and the different topic areas are reflective of matters that are of considerable importance in the parish. Within each section there is a summary of what the policy seeks to achieve and a justification, providing the necessary understanding of why the policy is needed and how it should be applied. The policies themselves are presented in the green boxes and these will be used to determine planning applications. To understand the full context for any individual policy, it should be read alongside the supporting text and evidence documents that have been compiled to underpin the EDFNP.
- 1.5 Beneath each policy is a conformity reference, listing the relevant policies in the adopted South Downs adopted Local Plan and the paragraphs of the National Planning Policy Framework (NPPF, 2024) that the policy conforms to.
- 1.6 Finally, the Plan sets out the Community Infrastructure Priorities and a framework for monitoring and implementation.

Figure 1: East Dean and Friston Neighbourhood Plan designated area



The Planning Policy Context



National Planning Policy

- 1.7 The EDFNP has been prepared in accordance with the National Planning Policy Framework (most recently revised in December 2024). It states

30. *“Neighbourhood planning gives communities the power to develop a shared vision for their area. Neighbourhood plans can shape, direct and help to deliver sustainable development, by influencing local planning decisions as part of the statutory development plan. **Neighbourhood plans should not promote less development than set out in the strategic policies for the area, or undermine those strategic policies** (Neighbourhood plans must be in general conformity with the strategic policies contained in any development plan that covers their area).*

31. *Once a neighbourhood plan has been brought into force, **the policies it contains take precedence over existing non-strategic policies in a local plan covering the neighbourhood area, where they are in conflict**; unless they are superseded by strategic or non-strategic policies that are adopted subsequently.”*

Local Planning Policy

- 1.8 The National Parks & Access to the Countryside Act 1949 (“the 1949 Act”) enabled the creation of National Parks to ensure that the nation’s most beautiful and unique landscapes would continue to be protected for the future. The parish is wholly within the South Downs National Park which was designated on 31 March 2010. The 1949 Act, as amended by Section 245 of the Levelling Up & Regeneration Act 2023, requires all relevant bodies (incl. the parish council) to seek to further the following purposes of the National Park:

- **Purpose 1** – To conserve and enhance the natural beauty, wildlife and cultural heritage of the area; and
 - **Purpose 2** – To promote opportunities for the understanding and enjoyment of the special qualities of the National Park by the public.
- 1.9 In pursuit of the Purposes, the Government also places a corresponding duty upon the South Downs National Park Authority (SDNPA) [Est. 01 April 2011] to seek to foster the social and economic wellbeing of the local communities within the National Park. The policies of the Neighbourhood Plan must be in general conformity with the strategic policies of the adopted South Downs Local Plan (SDLP) which covers the National Park in its entirety.
- 1.10 The development plan for the National Park also comprises a number of made Neighbourhood Development Plans, which cover individual parishes, and several adopted minerals and waste plans prepared at a county level. In addition, there are several Supplementary Planning Documents that cover a wide range of issues giving detailed guidance on how policies or proposals in development plan documents will be implemented.
- 1.11 The SDNPA is undertaking a Local Plan Review. The ninth edition of the [Local Development Scheme](#) sets out the proposed timetable for this, with the Local Plan Review Regulation 18 version gone out to consultation during January to March 2025, with adoption currently set for early 2027/28. As the Review is at a very early stage, the strategic policies of the adopted Local Plan have provided the context for this EDFNP, although evidence prepared for the Review will be considered. At time of publication the emerging policies of the Regulation 18 version and the EDFNP are in alignment.
- 1.12 The SDLP makes overall provision for approximately 4,750 net additional homes over a 19-year period between 2014 and 2033. East Dean and Friston is located in the 'Dip Slope' broad geographic area of the South Downs. A housing provision of 11 dwellings is made for the parish, which was met through sites allocated in the Pre-Submission South Downs Local Plan and the site has been subsequently built out. There is therefore no residual housing allocated in the SDLP relating to the parish, although that is not to say that additional housing may either be allocated in the Local Plan Review or come forward as windfall.

Community engagement

- 1.13 From the beginning, work on the EDFNP has been guided by the need to engage as widely as possible with the local community. Efforts have been made to reach those people who are often more difficult to involve in formal consultations. In addition to the statutory requirements for public consultation at various stages, measures to draw in a wider range of contributions have included presentations, parish surveys, the use of the internet and social media, exhibitions and face-to-face meetings. These are set out fully in the Consultation Statement. A high-level timeline of activity is summarised in *Table 1*.

Table 1: High-level summary of key activities and engagement

Date	Milestone	Key activities
2019	Neighbourhood Area designated	<ul style="list-style-type: none"> The area was designated and an initial attempt to consider a Neighbourhood Plan was started, but this did not gain traction.
2023	Reviewing the need for a Plan Evidence and engagement gathering	<ul style="list-style-type: none"> The PC opted to prepare a neighbourhood plan, largely focused on design guidance Steering Group established Community Survey launched Working group activities formalised Photo competition Visioning and objectives in draft Community events and exhibitions Meetings with local groups and organisations Dedicated webpages established Design guidance and Housing Needs Assessment commissioned
2024 to 2026	Pre-Submission Version (Regulation 14) Plan published Regulation 16 Plan published Examination Referendum	<ul style="list-style-type: none"> Informal Draft plan prepared for Environmental screenings Environmental Screening Determinations prepared Pre-Submission (Regulation 14) consultation Plan amended appropriately into Submission Version and submitted, with supporting documents to SDNPA Regulation 16 consultation run by SDNPA Plan independently examined Plan finalised for Referendum Plan 'made' and forming part of the strategic development plan

Sustainability of the Neighbourhood Plan

- 1.14 The EDFNP has been screened by the SDNPA to ascertain whether a Strategic Environmental Assessment (SEA) is required. The screening document was subject to consultation with Historic England, Natural England and the Environment Agency between June and August 2024. The Screening Determination Statement has concluded that the EDFNP is unlikely to result in significant environmental effects and therefore does not require a Strategic Environmental Assessment.
- 1.15 In addition, the screening determined that the 'appropriate assessment' stage of the HRA process (that ascertains the effect on integrity of any recognised protected European Site) does not need to be undertaken. This conclusion was sent to Natural England for consideration and their response is in agreement.
- 1.16 A copy of the Screening Determination Statement is available on the Parish Council website.

2. ABOUT EAST DEAN AND FRISTON

- 2.1. The parish of East Dean and Friston lies in Wealden District in East Sussex within the South Downs National Park, with the planning authority being the South Downs National Park Authority (SDNPA). Lying just west of the coastal town of Eastbourne and with around 3 km of coastline, its total extent is approximately 900 ha (925 ha including the foreshore) or 9 km².
- 2.2. The settlements of East Dean and Friston, together with the hamlets of Birling Gap, Crowlink, Friston Place and Gayles Farm, form a parish of some 1,600 inhabitants (2021 census) straddling the busy A259 coast road, some five miles west of Eastbourne town centre and five miles east of Seaford. While the settlements were first established by the Saxons, certain settlements in the wider geographic area, such as Belle Tout, have their origins in the Bronze Age. The parish lies wholly within the South Downs National Park.
- 2.3. The parish incorporates a Site of Special Scientific Interest (part of the Seaford to Beachy Head SSSI), a Site of Nature Conservation Importance (SNCI), and the Heritage Coast area dominated by the chalk cliffs of the Seven Sisters. While these areas are subject to additional development constraints, the importance of some of the habitats in the area cannot be overemphasised, both for the character of the area at a local level and for biodiversity on a national and international scale.
- 2.4. East Dean village (Character Area (CA) 1 in *Figure 2*, p.22) is the historic centre of the parish and lies to the south of the main A259 which cuts across the parish. It contains approximately 80 homes plus an increasingly significant number of holiday cottages and a care home, which can accommodate up to 30 service users.
- 2.5. Facilities in the village include the historic village green outside The Tiger Inn; leisure establishments (a restaurant, café/gift shop, and a delicatessen); and, close by, the modern, well-equipped village hall. A large, landscaped car park (free of charge) with four electric vehicle charging points sits conveniently close to these facilities. A little further south is the historic East Dean Church with the church green at the main entrance.
- 2.6. The Friston low density residential area with approximately 200 homes (see *Figure 2*, p.23) lies to the north west of the old village. South of the main road and west of the old village lies the historic Friston Church and Friston Pond (a Scheduled Monument). The surrounds of the Pond include a registered village green with a small, informal parking area for the church.
- 2.7. The Friston residential area was developed further post war mainly on the eastern side of the valley and this extended area is now the largest residential area in the parish, containing approximately 450 homes. Together with the Friston Downlands this area is collectively known as the Downlands Estate. At its heart is the open grassy area known as the Greensward, which is registered as a village green. There is a small shopping precinct in Downlands Way, including a general store, café, bakery, beautician, butcher and hairdresser.
- 2.8. Approximately 50 other homes are scattered through the countryside in the remainder of the parish, mostly to the south of the main residential area and the main road. The hamlet of Crowlink lies in the area some 400 metres south of Friston Church and the open downland of the Seven Sisters. The hamlet of Birling Gap lies on the coast, while Birling Manor (comprising three occupied buildings), one of the three original manors of the parish (the others being

Friston Place and Peak Dean Manor), lies between old East Dean and the coast. Gayles Farm is a small collection of properties located on the western boundary of the parish. Friston Place hamlet, centred on ancient Friston Place manor house, is located within Friston Forest in the north-west of the parish.

- 2.9. There is a recreation ground, designated as a Field in Trust and owned by the Parish Council, on the southern edge of the old village of East Dean, with a cricket pitch, tennis court and play area. Much of the coast and downland is owned by the National Trust; due to cliff erosion, the visitor centre that was there has been partially demolished and moved.
- 2.10. The South Downs Way National Footpath crosses the southern part of the parish, forming part of the King Charles III England Coast Path.
- 2.11. Part of Friston Forest, a designated Local Wildlife Site, is located in the parish. It was planted in the early 1930s to protect water catchment for Eastbourne's water supply. The land is owned by South East Water but is managed long-term by Forestry England, both for amenity and for timber.

Issues and opportunities for East Dean and Friston

2.12. Census 2021 data relating to the parish can be found on the [ONS website](#). [The State of the County 2024](#) report provides general information on health. Particular challenges and opportunities and characteristics include:

- The population is aging and there is a need to meet the needs of this cohort in terms of ensuring housing, services and facilities are accessible and suited to their needs. Approximately 52% of parishioners are aged over 65 years, with 12% aged over 80 years. The average across England is 18.4% and 4.9% respectively. There has been an ongoing decrease in the number of younger people and families in the parish and consideration should be given to ways to tackle this.
- There is an opportunity to contribute to climate change mitigation, for instance through influencing the design of development, promoting sustainable modes of transport and improving biodiversity.
- There is a notable gap between local average incomes and house prices within the parish.
- The potential impacts on local infrastructure of any future strategic site allocations in the parish, or in neighbouring parishes.
- Supporting employment that exists in the parish, including opportunities for those wishing to work from home or more flexibly. Ensuring the ongoing viability and vitality of the village shops, businesses and other facilities. This includes working with partners to improve broadband and mobile connectivity.
- Considering how best to support sustainable tourism, welcoming visitors to the area and capitalising on the attractiveness of the local area and assets (Birling Gap, walking and cycling opportunities, South Downs Way, etc.), but without compromising the existing landscape. The impact of neighbouring attractions also needs careful thought.
- The number of visitors' cars exceeds the capacity of the car parks at Birling Gap. Cars seeking to avoid car park charges park along the road, which adds to congestion here and makes it hazardous for walkers/ wheelers and cyclists.
- Improving biodiversity in the parish, including access to open spaces, where this can be achieved effectively.
- Retaining the distinctive character and identity of individual parts of the parish.
- There is a high dependence on car travel locally, largely due to the rural location of the parish and the age demographic. Access for those by foot (including mobility aids)/ bike needs to be improved, particularly for residents and visitors.
- Almost 70% of land in the parish is owned by three large landowners, including the National Trust. The settled area represents approximately 9% of the parish land.
- There is no school (primary or secondary) in the parish, nor early years provision. Families tend to travel to Eastbourne for the latter. Such provision largely falls outside the scope of a neighbourhood plan.

3. A VISION FOR EAST DEAN AND FRISTON

Vision for the Neighbourhood Plan

3.1. After consultation with the community, the vision for East Dean and Friston up to 2042 is:

Building upon the open and friendly village atmosphere and sensitively preserving the rural and built character of the Parish, our vision for East Dean, Friston, Crowlink, Birling Gap and other settlements sees this parish continuing to be a thriving and sustainable place to live, work and visit, where everyone can play a full part in their community.

The mitigation of and need to adapt to climate change is a central strand of the vision. We aim to support householders in protecting and enhancing our natural environment, whilst promoting healthy living and connectivity for the benefit of all.

Any additional development within the Parish should reflect the priority to provide homes on smaller plots, suitable for downsizing for existing residents as well as for attracting and retaining younger people and contributing to net zero environmental targets wherever possible.

Neighbourhood Plan Objectives

3.2. The overarching principles and objectives of the Neighbourhood Plan are as follows:

Overarching Principles that all policies seek to contribute to:

- **Social** (promoting community, accessibility, health and wellbeing)
- **Cultural** (protecting the cultural legacy of the parish)
- **Natural Environment** (safeguarding and enhancing opportunities for biodiversity)
- **Built Environment** (conserving existing assets and designing new build sustainability and to a high quality)

Six objectives:

Objective 1: To conserve and enhance the natural environment, taking opportunities to mitigate and adapt to climate change, whilst protecting and enhancing this environment.

Objective 2: To support development that enhances the design, character and appearance and landscape of the Parish in a sustainable manner.

Objective 3: To support the provision of smaller homes allowing for those downsizing and for attracting younger people, particularly those with local connections.

Objective 4: To champion healthy living in the parish whilst supporting and promoting community facilities - both leisure and local businesses - to ensure a thriving community.

Objective 5: To protect and develop the built and rural environment whilst attracting and developing sustainable tourism.

Objective 6: To support opportunities for walking, 'wheeling', cycling and equestrian pursuits in the parish.

4. HOUSING

Policy EDF1: Meeting local housing needs

Purpose

- 4.1. This policy seeks to ensure that new housing delivered in the parish is focused on local need in terms of type, size, tenure and affordability and is designed to be capable of meeting the specific housing needs of the parish. It is underpinned by the East Dean and Friston Housing Needs Assessment (HNA). The term “affordable housing” is defined at a national level (see Glossary), and it is this definition that is used for this policy.

POLICY EDF1: MEETING LOCAL HOUSING NEEDS

A. Other than in development designed to meet an identified specialist housing need, the mix of housing sizes, types, tenures, and affordability in proposed development should, in so far as is reasonably practicable and subject to viability, assist in meeting needs identified in the most recently available [East Dean and Friston Housing Needs Assessment](#). In particular, development proposals for residential use should respond positively to the following principles:

- i. proposals which provide a mix of dwelling sizes based on the following distributions across the site, to address the needs of single people, young couples, smaller families and those wishing to downsize:

	1 – bedroom	2 – bedrooms	3 – bedrooms	4+ bedrooms
Market	5-10%	35-40%	35-40%	15-20%
Affordable home ownership	15-20%	35-40%	30-35%	10-15%
Affordable housing (rented)	30-35%	30-35%	25-30%	5-10%

- ii. proposals that deliver an appropriate mix of affordable housing, based on a 75:25 split between social rent and affordable housing for sale (intermediate housing). Affordable homes should be tenure-blind and well-integrated with market housing. The tenure of affordable units should meet the specific needs of the parish.
- iii. proposals that enable greater affordability uplifts and prioritise local residents when it comes to allocating housing (such as the use of First Homes). Such proposals should seek to prioritise those with a local connection to East Dean and Friston parish (see Glossary) and essential local workers.

B. Residential development that could reasonably be expected to meet the needs of older people (by virtue of its size and location) is encouraged to demonstrate how it has reflected the [Housing our Ageing Population Panel for Innovation \(HAPPI\) principles](#) and the guidance contained in the RTPI’s [“Dementia and town planning: Creating better environments for people living with dementia”](#).

C. Development proposals for self- and custom build housing will be supported where they otherwise comply with development plan policies.

Conformity Reference: NP objective: 3; SDLP (2019): SD1, SD3, SD25, SD27-SD29, [SDLP Affordable Housing SPD](#); NPPF (2024): 61-66, 71, 73, 74, 76, 82-84

Justification

- 4.2. Policy SD27 of the SDLP supports “*residential development that delivers a balanced mix of housing to meet projected future household needs for the local area*”. To understand what this means at the parish level, a [Housing Needs Assessment \(HNA\) for East Dean and Friston](#) was prepared in 2024. The main findings are summarised below.
- 4.3. **The parish has an ageing population** and the numbers of residents in the 65 years and over age bracket is expected to increase over the lifespan of the EDFNP.
- 4.4. **House prices in the area are high.** Local households on average incomes are unable to access even entry-level homes unless they have the advantage of a very large deposit. Market housing, even with the benefit of a higher-than-average income, is likely to remain out of reach to most. The median house price would require an annual income 73% higher than the current average.
- 4.5. **The majority of homes in the parish have 3- and 4- bedrooms.** This could cause issues for affordability due to the large gap in the market for smaller properties (in terms of bedroom numbers) in the parish. It also reduces options for those wishing to downsize. Furthermore, families wanting to move to larger homes in the area may also struggle as there are few of this size that are affordable.
- 4.6. **There is a lower number of social and private rented properties in the parish compared to the wider geographic area.** This could make it more difficult for those not able to purchase a property to access housing in the parish. The HNA found that on the whole, private rentals that are available are largely only affordable to higher earners.
- 4.7. In terms of addressing affordable housing need, Policy SD28 of the SDLP requires 50% of new developments for 11 net homes or more to be affordable housing. Of these, the SDLP requires 75% to be affordable social rent and 25% to be intermediate housing (i.e. shared ownership). This appears to offer a suitable benchmark for the tenure mix within affordable housing for the parish and also complies with the various minimum requirements mandated nationally.
- 4.8. The affordable rented sector performs a vital function in East Dean and Friston as the only option for a large segment of those in the greatest need, although this tenure accounts for only 10.3% of the local housing stock.
- 4.9. The remaining affordable housing should be delivered as a 75:25 split between affordable social rent and intermediate housing to buy. Any homes delivered as First Homes should provide a discount of at least 25% but ideally up to 50% to make them more affordable.
- 4.10. In terms of the size of new homes, the HNA for East Dean and Friston recommends that priority should be given to 2-bedroom properties (53.2%), followed by 1-bedroom (22.0%) and 4-bedroom properties (12.5%). 4+ bedroom properties form a much smaller proportion of the

suggested mix. The headline recommendation here is diversification away from a large current mix, with a particular emphasis on the smallest options (*Table 2*):

Table 2: Suggested dwellings size mix for East Dean and Friston (showing the percentage of homes by bedroom number that should be provided according to each type (market/affordable)

	1 – bedroom	2 – bedrooms	3 – bedrooms	4+ bedrooms
Market	5-10%	35-40%	35-40%	15-20%
Affordable home ownership	15-20%	35-40%	30-35%	10-15%
Affordable housing (rented)	30-35%	30-35%	25-30%	5-10%

4.11. In the context of the ageing population, the HNA considers that East Dean and Friston’s position in the settlement hierarchy makes it a relatively less suitable location for specialist accommodation (e.g. care homes) on the basis of the accessibility criteria and the considerations of cost-effectiveness given above. It is therefore important that housing is well tailored to older people’s requirements in terms of space, flexibility, quality, location and accessibility. The [“Housing our Ageing Population Panel for Innovation \(HAPPI\)”](#) has, since 2009, promoted a series of principles for good design of housing generally. Many of the principles are recognisable from good design practices - good light, ventilation, room to move around and good storage - but they have particular relevance to the spectrum of older persons’ housing which needs to both offer an attractive alternative to the family home and be able to adapt over time to meet changing needs. The ten principles are:

- Space and flexibility
- Daylight in the home and in shared spaces
- Balconies and outdoor space
- Adaptability and 'care ready' design
- Positive use of circulation space
- Shared facilities and 'hubs'
- Plants, trees, and the natural environment
- Energy efficiency and sustainable design
- Storage for belongings and bicycles
- External shared surfaces and 'home zones'

4.12. Housing should be designed to support the needs of those living with disabilities. The Royal Town Planning Institute’s guidance [“Dementia and town planning: Creating better environments for people living with dementia”](#) should inform planning applications. Further guidance is provided in the [East Sussex Dementia Joint Strategic Needs Assessment](#).

4.13. The Parish Council, with the local community, may wish to explore other mechanisms to bring forward affordable housing, such as the development of a rural exception site. There may be merit in considering whether a Community Land Trust could be useful in the parish, as one way to enable this. This could also enable uplifts to the national definition of affordability to enable greater discounts for those locally seeking homes.

5. CHARACTER, HERITAGE, AND DESIGN

Policy EDF2: Character and design of development

Purpose

- 5.1. Good quality, landscape- and heritage-led design can conserve or enhance the landscape and its character whilst also improving public health and wellbeing, reducing crime, easing transport problems and providing supportive neighbourhoods. The policy seeks to encourage development proposals within the parish to comply with the highest design standards, which are informed by landscape character, and adhere to the locally specific Design Guidance and Codes prepared for the Parish, which follow this policy. The policy and its supporting text add greater detail to the Local Plan policies, in particular Policies SD4 and SD5. These require development to conserve and enhance landscape character and ensure that all development is of the highest possible design quality which reflects and respects the exceptional quality of the natural, agricultural, and built environment, respectively.

POLICY EDF2: CHARACTER AND DESIGN OF DEVELOPMENT

A. Development proposals should have a landscape- and heritage-led approach and demonstrate a high-quality of design, which is informed by the South Downs Landscape Character Assessment (LCA A1), the South Downs Design Guide, the East Dean and Friston Design Guidance and Codes and the four Character Areas identified in *Figure 2*. As part of the above, proposals should:

- i. conserve or enhance landscape character;**
- ii. integrate well within their context and surroundings;**
- iii. meet the changing needs of residents; and**
- iv. respect the local streetscape.**

Proposals should reflect the architectural variety found locally, using materials that are in keeping with those used in existing buildings in the immediate locality. Innovation in design will be supported where this demonstrably enhances the built form and the way in which it functions.

B. As appropriate to their scale, nature and location, development proposals should demonstrate how they have sought to address the following matters:

- i. incorporate soft landscaping and characteristic boundary treatments including the retention and enhancement of established trees and hedgerows especially on private (or unadopted) roads; and**
- ii. provide adequate and characteristic vehicular access - and space for cycle parking and vehicular off-road parking - for residents, visitors and service vehicles.**
- iii. preserve or enhance the buildings and setting of the conservation area, listed buildings and the other heritage assets (including non-designated assets) of the parish;**

iv. there is no unacceptable loss of amenity for neighbouring uses through the loss of privacy, loss of light or visual intrusion; and

v. traffic generation and parking does not adversely affect vehicular and pedestrian safety, notably on Gilberts Drive and Upper Street.

C. Where development abuts open countryside, development on the rural boundary edge should be designed and laid out to mitigate any detrimental visual impacts on the landscape.

Conformity Reference: NP objectives: 2; SDLP policies: SD4, SD5, SD22; NPPF (2024): 96, 103, 109, 129-139

Justification

- 5.2. Past generations of people and development have created the features that give the parish its identity today. This process has been gradual, taking place over a few centuries, and the settlement that exists today has a distinctiveness that derives from variety. The settlements in the parish contain heritage assets of all kinds, including characterful buildings, historic landmarks and archaeological features, both exposed and still beneath the ground.
- 5.3. Landscape is defined as *“an area, as perceived by people, whose character is the result of the action and interaction of natural and/or human factors”* (European Landscape Convention), whilst landscape character includes distinct, recognisable and consistent patterns and features within a landscape which help to differentiate one landscape from another.
- 5.4. The parish is wholly within the South Downs National Park and is identified in the South Downs National Character Area (NCA 125) and the Ouse-to- Eastbourne Open Downs Landscape Character Area (LCA A1) as set out in the [South Downs Landscape Character Assessment 2020](#).
- 5.5. In October 2019, a [National Design Guide](#) was launched, forming part of the Government’s collection of Planning Practice Guidance. The document sets out the ten characteristics necessary for creating a well-designed place, contributing to its landscape character, a sense of community and addressing environmental issues affecting climate. The [National Model Design Code](#) expands on the ten characteristics and was used in the creation of the East Dean and Friston Design Guidance and Codes.
- 5.6. Furthermore, the guide [Building for a Healthy Life 2020](#) is the Government-endorsed industry standard for the design of new housing developments. It is a tool for assessing the design quality of homes and neighbourhoods. The criteria also link to other standards for housing design, including [Secured by Design](#). It should be used to inform development proposals along with other policies contained within this plan to achieve the industry standard’s ‘Building for a Healthy Life’ commendation. Furthermore, Sport England’s [‘Active Design’](#) guidance sets out principles that create places which enable active and healthier lifestyles. This has links with Policies EF5 and EF6, in terms of the benefits that access to open space can provide.
- 5.7. Development should be contextually designed using a landscape-led approach. As part of this, the [South Downs Design Guide SPD](#) provides guidance on a range of design issues relevant to new development and the implementation of South Downs Local Plan Strategic Policy SD5 (Design).

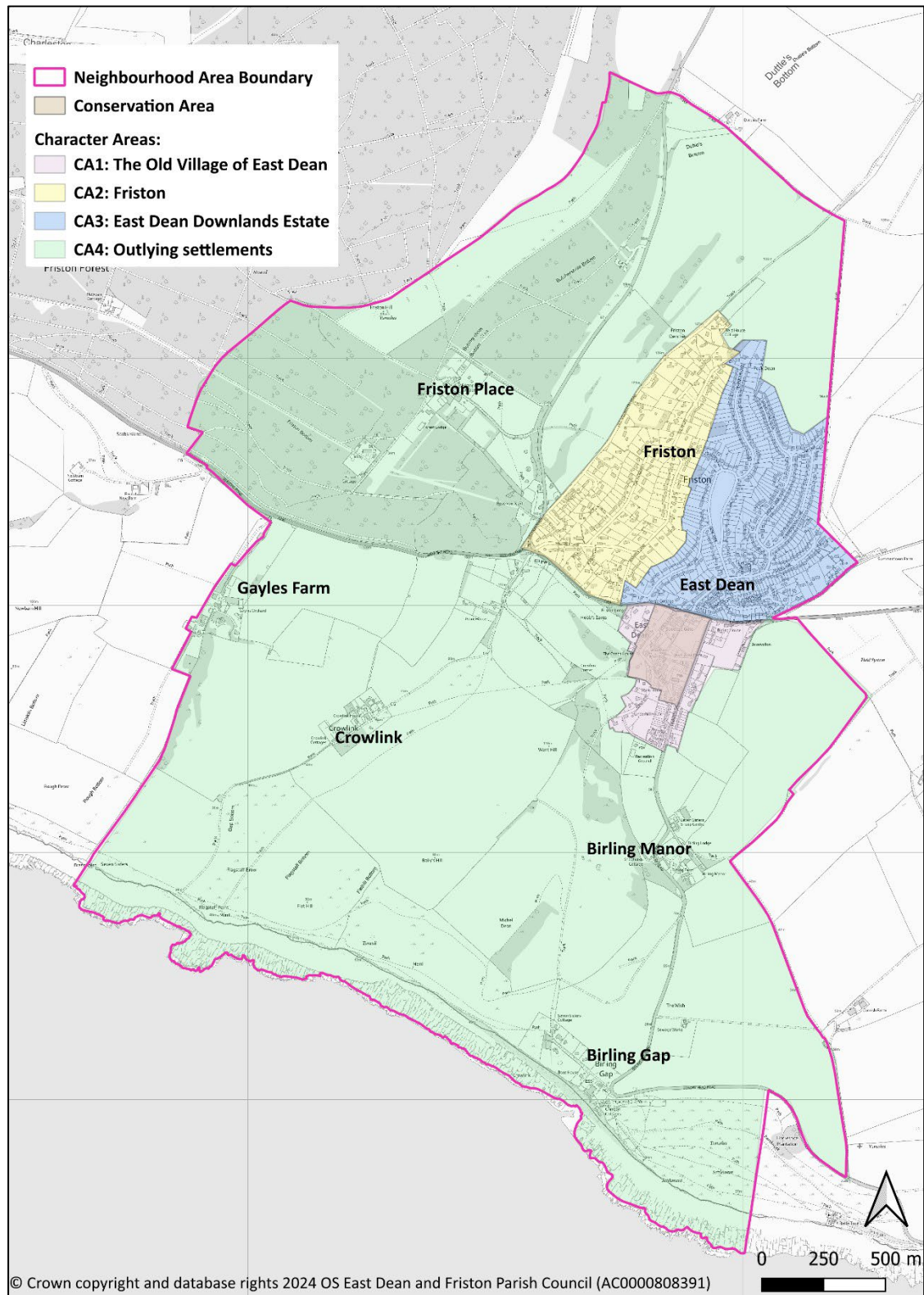
- 5.8. The Neighbourhood Plan Steering Group commissioned AECOM to develop a more localised set of design guidance and codes to inform future development in the parish.
- 5.9. The East Dean and Friston Parish Design Guidance and Codes (Appendix E) forms part of formal policy for the EDFNP, to support the creation of distinctive places that are well-integrated with the existing settlements in the parish and to promote high-quality and popular built forms. The guidance follows this policy and draws on the design guidance available at national, regional, and county levels, and that which exists at the South Downs level. It was also informed by local engagement drawn from the community survey and Open Day. The East Dean and Friston Parish Design Guidance and Codes should be applied to all development proposals in the parish including any future strategic site allocations.
- 5.10. Guidance and Codes identifies four Character Areas in the parish (*Figure 2*):
- The Old Village of East Dean (incorporating the Conservation Area guidance)
 - Friston
 - East Dean Downlands Estate
 - Outlying Settlements
- 5.11. The character of each is described, along with favourable design outcomes, which should inform development proposals in each area. The guidance also contains the following general principles applicable to the entire parish:
- **Active travel and walkable routes** - Walking and cycling should be facilitated for short trips within the parish, making direct connections between housing and services or amenities.
 - **Forming and Massing** - The size, shape and aspect of individual buildings in the village contribute to the overall villagescape. Development has the opportunity to enhance this.
 - **Height and Rooflines** - The roofscape between each Character Area remains largely consistent. All developments and alterations should protect this quality.
 - **Materiality and Details** - The material palette across the parish is warm, natural, and helps the built environment to seamlessly blend with the East Sussex landscape.
 - **External lighting and Dark Skies** - The parish has a distinct dark skies quality due to its location within the South Downs National Park, and the private management of many roads.
 - **Car and Cycle Parking and Services** - Car parking should be managed attractively and efficiently to mitigate the effects of car clutter and congestion on the public realm.
 - **Conversions and Extensions** - Modifications and extensions should be harmonious in design to the original building and should improve the villagescape.
 - **Sustainable Features** - National and local planning guidance provides best-practice architectural design principles to deliver development and retrofit existing buildings to be

more sustainable. Dwellings should be as energy and water efficient as possible to reduce ongoing pressure on resources.

- **Wildlife** - Biodiversity and wildlife habitats should be preserved accommodated wherever possible.

5.12. Policy EDF2 has a close relationship with Policy EDF3 (Energy Efficiency and Design) of this Plan. Where it is appropriate to do so developments should take account of both policies.

Figure 2: Conservation and Character Areas



The East Dean and Friston Design Guidance and Codes forms an integral part of the Neighbourhood Plan and is included in Appendix E.

Policy EDF3: Energy efficiency and design

Purpose

- 5.13. This policy seeks to ensure that development meets the highest environmental standards in terms of its construction, materials and energy use. This will help to mitigate against climate change and contribute to achieving the national target of zero net carbon by 2050. There are also health and wellbeing benefits that be gained through energy efficiency and design, both physical and mental, for instance by creating healthy indoor living environments with healthy air temperatures, humidity levels, noise levels, and improved air quality.

POLICY EDF3: ENERGY EFFICENCY AND DESIGN

- A. Proposals which incorporate measures and standards to adapt to, and mitigate, the harmful impacts of predicted climate change will be supported, subject to compliance with other policies in this Plan.**
- B. As appropriate to their scale, nature and location, proposals which incorporate the following sustainable design features will be strongly supported, where measures will not have a detrimental impact on character, appearance, features, interest, setting, landscape and views:**
- i. siting and orientation to optimise passive solar gain.**
 - ii. the use of high quality, thermally efficient building materials.**
 - iii. installation of energy efficiency measures such as loft and wall insulation and double glazing.**
 - iv. incorporating on-site energy generation from renewable sources such as solar panels, ground source heating and energy generation etc.**
 - v. reducing water consumption using water re-use measures including rainwater harvesting, surface water harvesting and/or grey water recycling systems, by integrating sustainable drainage measures to minimise and control surface water run-off.**
 - vi. the use of soft landscaping to reduce water run-off whilst preserving existing flow routes and drainage features within the site, for instance ditches, seasonally dry watercourses, historic ponds.**
 - vii. providing low carbon sustainable design and avoiding or mitigating all regulated emissions using a combination of on-site energy efficiency measures (such as insulation and low energy heating systems), on-site zero carbon technologies (such as solar panels) and, only where necessary, off-site measures to deal with any remaining emissions.**
 - viii. providing the infrastructure for adequate electric vehicle charging points for each individual dwelling, including provision for guest parking, where new parking provision is expected to be made.**
 - ix. designing development in a way that will help to reduce overheating in warmer months.**
- C. Proposals for the retrofitting of existing buildings, including designated and non-designated heritage assets, to reduce energy demand and to generate renewable energy will be supported where they safeguard the character, appearance, features, interest and setting of the building concerned.**
- D. Proposals for individual and community scale energy schemes, for instance the installation of solar panels on community and public sector buildings, will be supported subject to the following criteria:**

- i. the siting and scale of the proposed development is appropriate to its setting and position in the wider landscape; and**
- ii. the proposed development does not create an unacceptable impact on the amenities of neighbouring residents; and**
- iii. the proposed development does not have an unacceptable impact on a feature of natural or biodiversity importance.**

Conformity Reference: NP objectives: 1, 2; SDLP policies: SD1, SD5, SD12, SD14, SD48, SD51, [SDLP Sustainable Construction SPD](#), [Sustainable Construction Technical Advice Note](#); NPPF (2024): 136, 161-169, 182

Justification

- 5.14. On 12 June 2019 the Government voted to amend the Climate Change Act 2008 by introducing a new target for a 100% reduction of greenhouse gas emissions (compared to 1990 levels) in the UK by 2050. This is otherwise known as a net zero target. This is a demanding target which will require everyone to be engaged, from households and communities to businesses and local and national government. As part of this, the government has set an interim target to cut the country's greenhouse gas emissions 78% by 2035 compared to 1990 levels.
- 5.15. The Future Homes Standard from 2025 will require CO₂ emissions produced by new homes to be 75-80% lower than those built to current standards. Homes will need to be 'zero carbon ready'. Fossil fuel heating (such as gas boilers) will be banned in new homes, with an expected shift to reliance on heat pumps and heat networks.
- 5.16. Unlike Local Plans, Neighbourhood Plans are more limited in what they can dictate in terms of environmental standards, as they must conform to the minimum requirements as set out by national policy and building regulations. The EDFNP can, however, strongly encourage the design and layout of new development to maximise its potential to be as energy efficient as possible and to encourage the use of renewable energy.



Examples of discreet solar panels (source: Historic England)

- 5.17. East Sussex County Council recognised the UK climate emergency in 2019, as a response to the need to act locally and in the context of climate change impacts being observed at the local level: dry riverbeds, reduced water supply, intense weather events, localised flooding and loss of habitats and species. It supports a range of projects designed to help adapt to climate change and these have informed the Neighbourhood Plan.
- 5.18. The SDNPA also declared a climate emergency in 2019, and principles are embedded in the emerging local plan. Policies SD48 and SD51 of the SDLP supports development proposals to be

designed to enable significant carbon dioxide emissions reductions and more sustainable energy sources, through energy efficiency improvements and facilitating low and zero carbon technology to ensure development supports a path to net zero emissions.

- 5.19. At the local level, the Community Survey revealed strong support by respondents for sustainably designed development. The [Carbon Footprint Report](#) for the parish provides more detail including recommendations as to where the community and individuals themselves can focus attention to tackle climate change.
- 5.20. Opportunities provided by the planning system to improve and promote sustainability in the neighbourhood area, which would help to deliver the government's climate change targets, include:
- following basic Passivhaus (net zero) environmental design including use of efficient and insulative materials;
 - integrating renewable (e.g. solar panels) and efficient (e.g. heat pumps) energy systems into new development, including existing and new public buildings;
 - reducing water consumption including through grey water systems;
 - reducing the risk of overheating in warmer months by designing in features such as trees and shutters for shading, appropriate fenestration, orientation of development and ventilation; and
 - promoting sustainable forms of transport through priority systems for pedestrians and cyclists.
- 5.21. The retrofitting of existing development, for instance to incorporate solar panels, is encouraged where this can be achieved sympathetically (see EDF Design Guidance and Codes Section 3.9). For older buildings, Historic England's guidance, "[Retrofit and Energy Efficiency in Historic Buildings](#)" should be consulted.

Policy EDF4: Conserving heritage assets

Purpose

- 5.22. This policy recognises the important contribution that heritage assets – both designated and non-designated (see Glossary) – make to the local character and distinctiveness of the parish, both individually and collectively.

POLICY EDF4: CONSERVING HERITAGE ASSETS

A. Designated Heritage Assets:

Development proposals affecting designated heritage assets (*Figure 3*) either directly or indirectly, should conserve or enhance the significance of the asset and those elements of the setting that contribute to the significance. This could include, where appropriate, the delivery of development that will make a positive contribution to, or better reveal the significance of, the heritage asset, or reflect and enhance local character and distinctiveness with specific focus on the prevailing styles of design and use of materials in a local area. These details should be explained in a Heritage Statement.

In addition, development proposals which fall within the Archaeological Notification Areas published by East Sussex County Council should demonstrate that they have considered the potential impact on above and below ground archaeological deposits.

B. Non-designated Heritage Assets:

In addition to Listed Buildings, 37 buildings and structures as shown on *Figures 4 and 5* and detailed in Appendix A are identified as non-designated heritage assets.

1. Friston pumping station
2. Friston Down
3. Friston Field
4. Friston water tower
5. Post box, Jevington Road
6. Tapsell gate, Friston Church
7. Ridge House
8. Post box, Deneside
9. Flint wall, Dene Close
10. Post box, Downs View Lane
11. World War Two pill boxes (11a and 11b)
12. Air raid shelter
13. World War Two field hospital
14. Crowlink dewpond
15. Crowlink Coastguard Cottages
16. Sarsen stone, Flagstaff Point
17. Mary Gilbert memorial stone
18. Gallops Cottage
19. Red Barn
20. Bowling Green
21. Old Forge Cottage
22. Stone stile and pinch gate, Horsefield
23. East Dean village pond
24. Telephone box in Gilberts Drive
25. Dog gravestone, Upper Street

26. Allotments, East Dean Village Green
27. Pendrills
28. Post box, East Dean Village Green
29. Old School House
30. Tithe Barn, The Grange
31. Tapsell gate, East Dean Church
32. Outhouse, Gilberts Drive
33. Gilbert Institute and pumphouse
34. Post box, Birling Manor
35. Telephone box, Birling Gap
36. Post box, Birling Gap
37. Coastguard Cottages, Birling Gap

Proposals affecting non-designated heritage assets will be determined based on national planning policy.

C. Conservation Area:

Development proposals in the East Dean Conservation Area should ensure that alterations and new developments contribute to the enhancement of the historic environment.

Development within this area and its setting should:

- i. be guided by the [East Dean Conservation Area Character Appraisal and Management Plan](#); and
- ii. be designed to a high quality and preserve and enhance the character of the conservation areas and its setting; and
- iii. retain those buildings and other features, including trees and hedges, which make a significant contribution to the character of the conservation area; and
- iv. protect open spaces and vistas important to the character and setting of the conservation area.

Conformity Reference: NP objectives: 5; SDLP policies: SD4, SD12-16; NPPF (2024): 135, 202, 203, 207, 212-217

Justification

- 5.23. Part of East Dean is covered by a conservation area, the first conservation area approved by South Downs National Park Authority within the Park. Development here is guided by the [East Dean Conservation Area Appraisal](#). Further guidance is also provided in the [East Dean and Friston Design Guidance and Codes](#) (see Policy EDF2).
- 5.24. The southern part of the parish is defined as a Heritage Coast. There are 34 individual/groups of buildings and assets in the parish today that are recognised through a listing for their contribution to national heritage. Three are Grade I listed: the two churches and Friston Place. There are also three Scheduled Monuments. *Figure 3* shows the designated heritage assets and Appendix A provides the full list.
- 5.25. Archaeological Notification Areas cover more than half the parish and are shown on the [East Sussex County Council mapping](#).
- 5.26. There are other heritage assets, however, that contribute to the historic local context and story of the parish, but which are not nationally important enough to be included on the statutory List of Buildings of Special Architectural or Historic Interest compiled by the Government.

- 5.27. The National Planning Practice Guidance supports the identification of non-designated heritage assets (see Glossary and Appendix A) through the neighbourhood planning process (Paragraph: 005 Reference ID:18a-005-20190723 Revision date 23 07 2019). An audit of local buildings and assets was undertaken to determine non-designated heritage assets that exist in the parish, recognising their value to the local character and history of the parish. Descriptions and photographs of the assets identified are provided in Appendix A and *Figures 4 and 5* show their locations on a map. This list is not exhaustive, and additional assets may be identified.
- 5.28. The parish has a large network of traditional-style free-standing flint walls extending over 12kms, most of which are field or property boundaries. They are also described in Appendix A, paragraph A7, and mapped in *Figure 3*.
- 5.29. The [East Sussex Historic Environment Record](#) contains details of additional assets in the parish, some of which are not nationally listed. Furthermore, SDNP's "[Sussex Heritage Coast: Archaeology on the Edge](#)" Phase 1 Report (December 2019) includes a large number of archaeological records from the Heritage Coast area, including within the parish. These records should be consulted by prospective developers but is not subject to the Policy EDF4. Further information on the historic landscape of the area can be found in the [Sussex Historic Landscape Characterisation](#).

Local Heritage at Risk

- 5.30. Historic England produces an annual Register of Heritage at Risk. Outside of London it does not include Grade II listings, apart from churches. Whilst no assets within the parish have been identified at this time, an audit of buildings and assets should be undertaken to keep track of this.
- 5.31. Opportunities to restore assets should be taken when they arise, in partnership with the owner.

Figure 3: Designated heritage assets

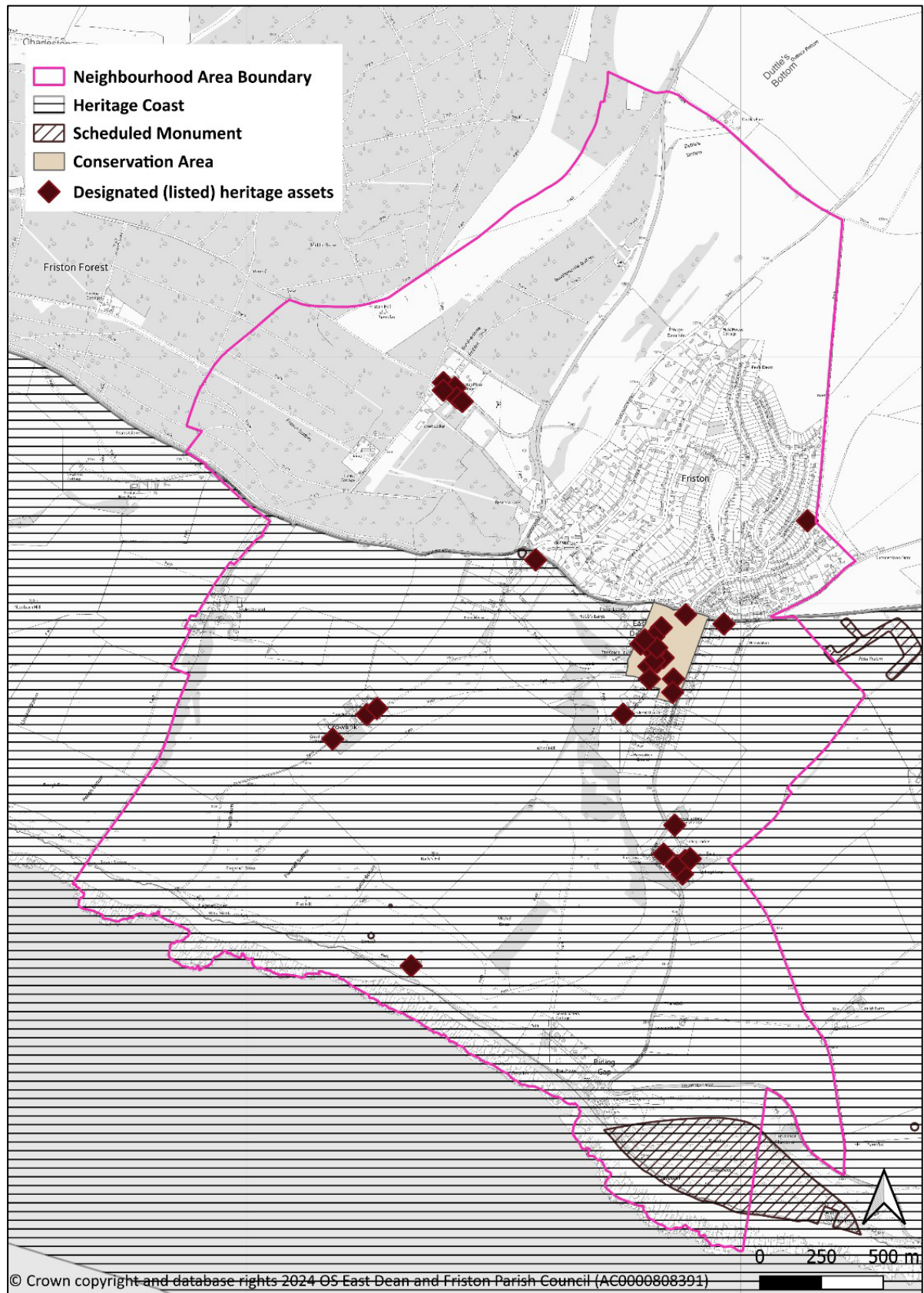
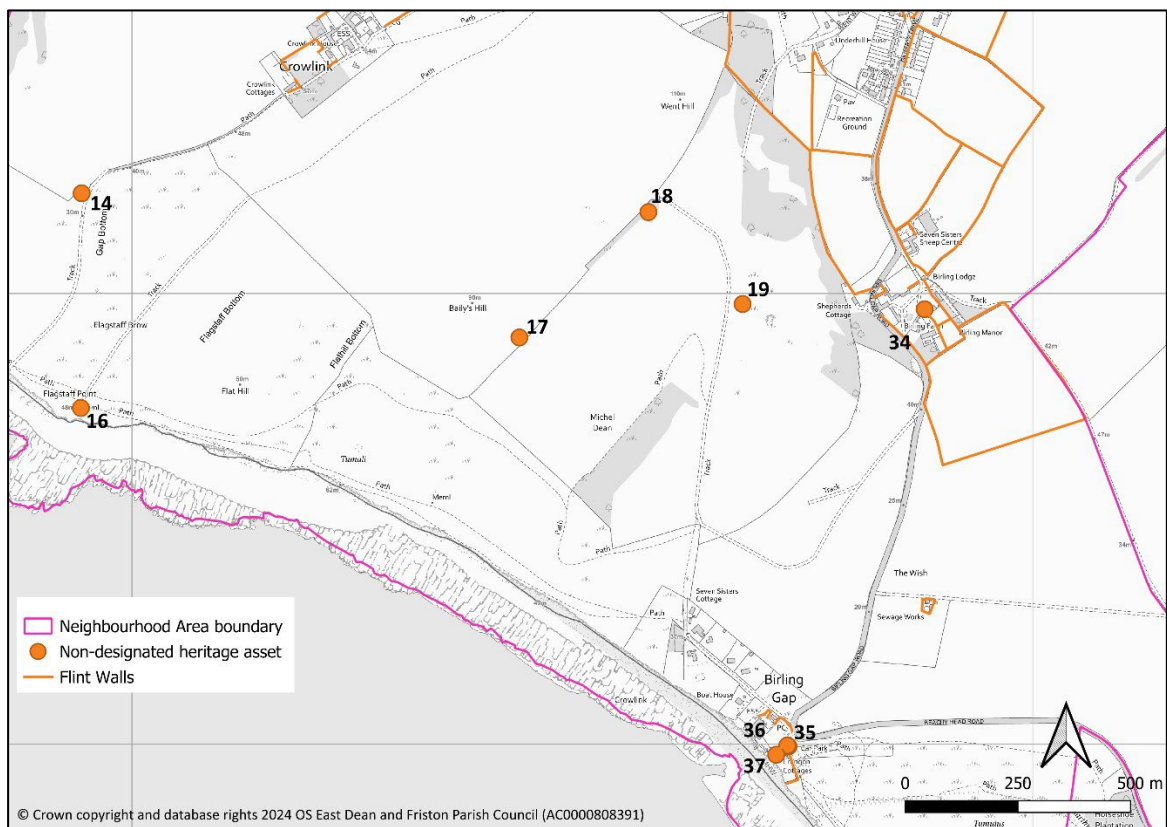


Figure 4: Non-designated heritage assets (north)



Figure 5: Non-designated heritage assets (south)



6. SUSTAINABLE TOURISM

- 6.1. The parish is extremely popular with visitors in light of its coastal location within the South Downs National Park. The National Trust advises that each year in the region of 600,000 people per year visit Birling Gap, which offers stunning views across the landscape and out to sea. It is one of the few places along this section of coastline offering access to the beach/sea. The villages themselves also attract visitors, many of them accessing the South Downs Way. The Tiger Inn offers food and accommodation in the centre of East Dean, with at least 12 holiday cottages /Air B&Bs in the conservation area. The establishment of the King Charles III England Coast Path National Trail (which coincides with the South Downs Way here) is also likely to attract visitors to the area.
- 6.2. Policy SD23 (Sustainable Tourism) of the SDLP provides a strategic approach to managing tourism sensitively across the National Park.



The parish is popular with visitors from all over the world

- 6.3. At the parish level, there are particular local issues at play that need to be carefully considered. Some of these issues sit outside the scope of planning policy, whilst others are addressed in either SDLP or EDFNP policies. The issues and potential ways to address them, as informed by the community engagement are described below:

Key issues:

- i. The sheer volume of visitors to the parish could be putting an unacceptable strain on the sensitive natural environment. The National Trust estimates that approximately 600,000 people visit Birling Gap per year. The majority (over 90%) of those arriving by coach are students from abroad. Visitors to the area also attracted to the Tiger Inn and there are approximately 12 Air B&Bs in the parish. In addition, the site promoter behind the change of use of Black Robin Farm (located in Eastbourne) to a cultural and education centre with business studios, refectory and event space (Ref: SDNP/23/04238/FUL) anticipates this to bring a further circa 100,000 visitors to the area.

- ii. Many visitors arrive by car either into the village or to Birling Gap. The number of visitors' cars significantly exceeds the capacity of the Birling Gap car parks. In the tourist season, for instance, cars park along both sides of the verge on the Birling Gap Road, which is a single track in some stretches. With many visitors walking along that route, the result is a potentially hazardous mix of pedestrians and speeding/badly parked cars.
- iii. Visitors to Birling Gap and the surrounding coastline are continuing to stand on the edge of cliff tops or walk along the base of cliffs. There is a strong need to raise awareness of coastal erosion and educate overseas visitors, who may not be aware of the risks associated with this dynamic coastal environment.
- iv. Birling Gap attracts a large number of coach parties. The National Trust advise that from Spring 2025, they will no longer be able to accept coaches or allow coach drop-off within the car park areas at Birling Gap. This will put pressure on adjacent roadsides and possibly on East Dean village carpark. The National Trust advise that they are proposing changes to address this: their main car park will be reduced in size in response to their proactive approach in managing coastal erosion. Coach parking will be removed from the car park altogether in 2025. They will be introducing dedicated motorcycle parking, a growing audience in the summer months, minibus parking, another area of significant growth and improving the current accessible parking bay provision.
- v. A large number of visitors are from outside the area, many from overseas ([South Downs Visitor Survey 2021](#)). There is a lack of information (in different languages) guiding them as to the best routes to use when accessing Birling Gap from the villages. As a result, visitors often resort to walking along Birling Gap Road, which has no footways. This is dangerous for all road users.
- vi. Traffic speeds along certain roads are dangerous for all road users. Excessive road noise (e.g. racing bikes/ unsilenced motorbikes) has been raised as a local issue, as well as vehicle numbers and speed.
- vii. There is a high number of second/holiday homes in the parish. In the conservation area, there are at least 12 holiday cottages, with five more being established. This can negatively impact village life, for instance where there are fewer residents living year-round in these homes. It also inflates house prices, making it more difficult for those on lower incomes wishing to move into the parish.
- viii. Lack of visitor facilities – notably there is a lack of public toilet provision for visitors. Whilst toilet facilities are available in some establishments, these are not necessarily publicly accessible at all times.
- ix. The impact of nearby developments and attractions on the parish – for instance the proposed extension of Eastbourne's art gallery at Black Robin Farm may increase the number of people seeking to visit Birling Gap. The [Black Robin Farm development](#) sets out that it might receive up to 100,000 visits per year, although many will already be visiting the wider South Downs landscape.

- x. The number of visitors will inevitably bring impacts to the local area, both positive, in terms of spending locally in shops and other businesses, but also negative, in terms of traffic volume, car parking, road safety, and pressure on the landscape.
- 6.4. An effective way to address the issues relating to tourism would be to develop a visitor strategy for the parish. Such an approach would bring together key partners including the SDNPA, Eastbourne Council, Experience Sussex, the Sussex Local Visitor Economy Partnership (a pan-Sussex approach to tourism aligned with Visit England), significant local landowners (National Trust, the Gilbert Estate, Forestry England), local businesses and neighbouring areas to collectively consider how the parish can benefit from sustainable tourism in a way that does not compromise the sensitive landscape. The [Regenerative Tourism in UK National Parks](#) (2024) document provides guidance on managing tourism in such a way that not only minimise its impact but also strive towards tourism making a net positive contribution to our National Parks.
- 6.5. The EDFNP does not include a policy on tourism. However, in conjunction with the adopted SDLP policies, many of the policies in this EDFNP provide the start for a local visitor strategy:
- Policy EDF1 sets out the housing need priorities for the parish. In terms of second homes, legislation passed in December 2023 allows local authorities to charge up to double council tax rates on second homes. The change, which brings the second home council tax rules into line with long-term empty homes, was effective from April 2024. In addition, national policy reforms have been announced in February 2025 to tighten up the short-term letting market, with planning permission required for future short-term lets.
 - Policy EDF5 considers the environmental impact of development and how this can be managed.
 - Policy EDF8 sets out areas where walking, wheeling, cycling and equestrian opportunities can be maximised. The improvements may be funded via national or local funding or through development contributions. They will benefit residents and visitors alike and support the East Sussex County Council Highways objectives in relation to health and wellbeing and promotion of 'active travel' (walking/ wheeling, cycling and horse-riding). Policy EDF9 provides scope for the provision of additional / improved facilities, which would benefit visitors and residents alike.

Action:

The Parish Council will work proactively with partners across the parish and beyond to develop a Sustainable Tourism Strategy for the Parish, drawing from strategic tourism strategies. This strategy will identify ways to ensure that the advantages of tourism to the parish's communities, economy, and natural environment outweigh any disadvantages.

7. ENVIRONMENT AND GREEN SPACE

Policy EDF5: Conserving and enhancing the natural environment

Purpose

- 7.1. The parish is a mostly rural area that is both biodiverse and with much of its extent protected in one form or another. There are also many wildlife corridors. This policy seeks to ensure that this network of green spaces – including their importance in combating pressure on wildlife, habitats, biodiversity and geodiversity and in off-setting the effects of air pollution – is recognised and enhanced. This applies particularly where individual spaces have a greater collective value as part of wider chains of green infrastructure. This will serve to support the requirement to conserve the network and, provide a net gain in biodiversity through planning policy whilst accommodating sustainable development. It also sets out how development proposals should incorporate biodiversity effectively.
- 7.2. Protecting and enhancing – and where possible enabling greater access to - this green network will also bring positive benefit to the physical and mental health and well-being of the community and visitors to the parish.

POLICY EDF5: CONSERVING AND ENHANCING THE NATURAL ENVIRONMENT

- A. Development proposals should conserve or enhance the natural environment, landscape character and the rural setting of the neighbourhood area and should seek to incorporate features typical of the parish as identified in the South Downs Landscape Character Area (LCA) A1.**
- B. Proposals that seek to improve the management of and connectivity between areas of high biodiversity value areas and green spaces will be encouraged. Conversely, proposals which threaten to damage such connectivity will be strongly resisted.**
- C. As appropriate to their scale, nature and location, development proposals should demonstrate that they have addressed the following matters:**

Trees and thicket/woodland:

- i. there is no loss of, or damage to, existing trees, thickets and woodlands during or as a result of development.**
- ii. where trees and/or shrubs are replaced with new plantings, native or locally appropriate varieties attractive to insects, birds and other wildlife must be used. Where possible, at least two trees should be planted for every tree removed.**

Hedgerows:

- iii. natural boundaries (i.e. hedgerows in preference to fencing) are supported.**
- iv. avoid the loss of, or deterioration in the quality of, hedgerows.**

- v. the restoration of, and additions of new, hedgerows will be supported including linking up with existing hedgerows. Hedgerows need to be characteristic and comprise a mix of native species.

Chalk grassland:

- vi. The importance of chalk grassland habitats, which are regarded as nationally significant, should be recognised, with no loss or degradation occurring.

Designated road verges:

- vii. ensure that development does not impact designated road verges and seek opportunities to extend these as necessary.

Fauna:

- viii. provide suitable wildlife-friendly features (such as swift bricks, bee bricks, hedgehog holes in new residential fencing, and bird and bat nesting boxes) where possible.
- ix. the provision of communal and private garden ponds will be supported as will the restoration of dew ponds.

Wherever practicable development proposals should seek to incorporate open space that:

- is in usable parcels of land and not fragmented;
- is safe, easily accessible to the public, and not severed by any physical barrier;
- creates a safe environment considering lighting and layout; and
- is complemented by high quality landscaping.

Conformity Reference: NP objectives: 1; SDLP policies: SD4, SD8-11, SD18; NPPF (2024): 135, 136, 187-195

Justification

- 7.3. The NPPF states that plans should seek to protect and enhance biodiversity and geodiversity. A useful starting point is to map the existing habitats and networks as well as those that offer opportunities for the future.
- 7.4. The parish is situated in the South Downs National Park and such areas are afforded the highest level of protection in national planning policy in terms of their landscape and scenic beauty. The parish is unusual in that it extends from high Downland to the coast and hence supports a great diversity of habitats from terrestrial to marine: over 70% of the area (675.6 ha in total) of the parish is within an area managed for conservation, as Higher-Level Stewardship Scheme (HLS; 15%), Countryside Stewardship Management Areas (26%), National Trust land (30%), Forestry Commission (24%). 17% of the parish is designated as a Site of Special Scientific Interest (SSSI). Only approximately 13.5% is settled. Although there is a significant extent of rocky coastline and shallow sea, there is very little open freshwater and there are no streams or rivers.
- 7.5. Much of the area's biodiversity reflects this chalk downland and rural, small farm origin, along with species associated with large gardens and road verges. Historically, the parish was not a particularly wooded area (at least within the last 500 years), as can be seen in old photos and drawings. As nearly all of the farmed area is now given over to livestock (sheep, with some cattle) and not arable, there are now probably fewer species associated with arable farming than there were 100 years ago.

- 7.6. To inform this policy, the Steering Group developed a [Biodiversity Profile](#) for the parish. Its compilation incorporates data and information from many local sources. In particular, it draws heavily on a recent report produced by the Sussex Biodiversity Records Centre for the parish (ref. SxBRC/23/084, 12 May 2023) which contains all the records they hold for the geographic area. A comprehensive plant survey has also been carried out, along with the addition of many local biodiversity records and observations from residents. A number of local residents have assisted with additional information and suggestions.
- 7.7. *Figure 6* maps the existing environmental designation. Within the parish, 12 additional Areas for Biodiversity Significance have been identified in the Biodiversity Profile. These are areas in yellow in *Figure 7*.
- 7.8. The green stepping-stones and, importantly, the unbroken green corridors within the area provide critical spaces as wildlife refuges and routes for wildlife such as bats to prevent species becoming isolated. Where it can be achieved sustainably, they can also be important spaces and routes for the local community to access for recreational purposes, contributing to people's physical well-being and mental health. Local residents value the local landscape and the range of benefits it affords. This is demonstrated through annual Open Gardens scheme, the Gardening Club, annual Horticultural show and the weekly market, which sells locally-grown produce.
- 7.9. The landscape assets of the parish should be maximised and made properly accessible, where feasible. Development proposals are encouraged to facilitate improved connectivity between these wildlife areas and green spaces that are used by the community.
- 7.10. If significant harm resulting from a development cannot be avoided (for instance by locating to an alternative site with less harmful impacts), adequately mitigated, or, as a last resort, compensated for, then planning permission should be refused.
- 7.11. Formally designated natural assets in the parish are described in *Table 3*.

Table 3: Formally designated/defined natural assets

Designated Sites - Designation	Local Examples
<p>National Park</p> <p>World-class landscapes with the power to inspire everyone, they've been designated on behalf of the entire nation because of their special qualities.</p>	South Downs National Park
<p>Sites of Special Scientific Interest (SSSI)</p> <p>Describes an area that is of particular interest to science due to the rare species of fauna or flora it contains - or important geological or physiological features that may lie in its boundaries</p>	Seaford to Beachy Head
<p>Ancient woodland</p> <p>Woods that have existed since at least AD 1600 and have developed irreplaceable, complex ecosystems.</p>	Hobbes Eares, Went Hill
<p>Section 41 habitats</p> <p>Habitats of principal importance</p>	<p>Maritime cliff & slope</p> <p>Intertidal chalk</p> <p>Traditional orchard</p> <p>Lowland meadow</p> <p>Lowland calcareous grassland</p> <p>Deciduous woodland</p> <p>Ancient woodland</p>
<p>Heritage Coast</p> <p>Heritage coasts are 'defined' rather than designated, so there isn't a statutory designation process like that associated with National Parks and National Landscape areas.</p> <p>They were established to conserve the best stretches of undeveloped coast in England. A heritage coast is defined by agreement between the relevant maritime local authorities and Natural England.</p>	The entire coastline in the parish

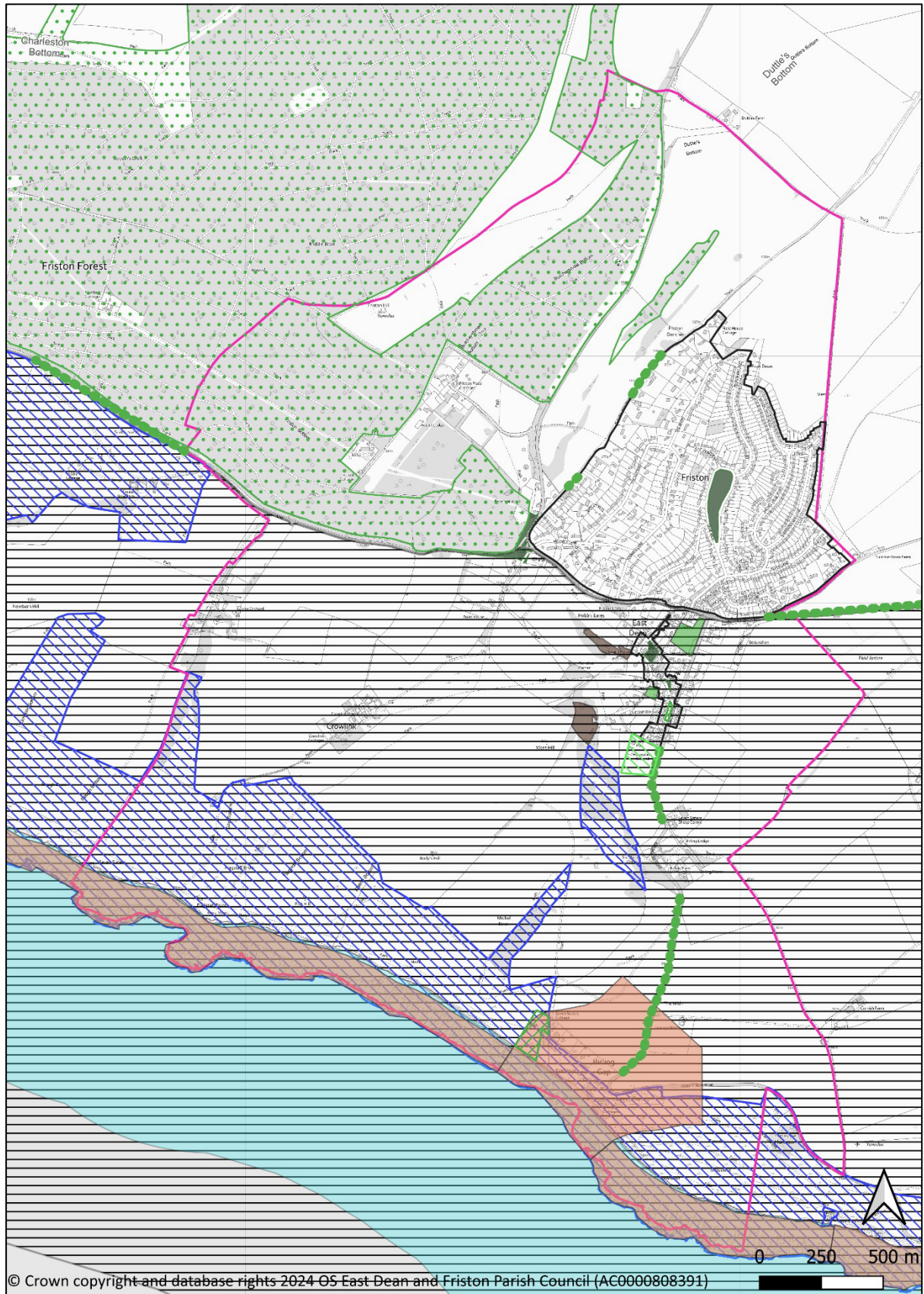
<p>Marine Conservation Area</p> <p>Areas that protect a range of nationally important, rare or threatened habitats and species on the foreshore and inshore waters.</p>	<p>Beachy Head West</p>
<p>Local Wildlife Site</p> <p>Areas of land with 'substantive nature conservation value'. They are identified and selected at a county level, based on important, distinctive and threatened habitats and species that have a national, regional and importantly, a local context.</p>	<p>Friston Forest and adjacent patches</p>
<p>Local Geological Site</p>	<p>TV59/09 - Coastal section: Birling Gap</p> <p>TV59/10b - Coastal section: Seven Sisters</p> <p>TV59/10c - Coastal section: Belle Tout to Birling Gap</p>
<p>Designated road verge</p> <p>Support either a notable species and/or a species-rich semi-natural habitat. There may also be examples where a Road Verge of Ecological Importance (RVEI) does not carry planning policy protection, for example verges designated for the presence of slow worms which aren't themselves a 'notable' species.</p>	<p>The following located in the parish are Meadow and Wildlife verges designated by ESCC (names are as per the designation):</p> <ul style="list-style-type: none"> • Gilberts Drive/Birling Gap Road – two long stretches (from Birling Manor southwards to Birling Gap & from Birling Manor northwards to the Rec) • Old Willingdon Road – two short stretches (North opposite Friston Down & South alongside SE Water Tower) <p>There are also two areas that fall outside the parish boundary and these are also shown on the map.</p>
<p>Tree Preservation Orders (TPO): A Tree Preservation Order is an order made by a local planning authority in England to protect specific trees, groups of trees or woodlands in the interests of amenity. An Order prohibits the: cutting down, topping, lopping, uprooting, wilful damage, wilful destruction, of trees</p>	<p>There are in excess of 14 TPOs in the parish, although the designations cover in excess of 14 trees as some are designated as clusters.</p>

without the local planning authority’s written consent. If consent is given, it can be subject to conditions which have to be followed. In the Secretary of State’s view, cutting roots is also a prohibited activity and requires the authority’s consent.	
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Key to Figure 6 (overleaf)

	Neighbourhood Area Boundary
	Settlement Boundary
	SSSI
	Marine Conservation Zone
	Heritage Coast
	Village Green
	Local Green Space (SDNPA)
	Local Green Space (EDFNP)
	Local Wildlife Site
	Recreation Ground
	Local Geological Site
	Ancient woodland
	Meadow and wildlife (road) verges designated by ESCC

Figure 6: Biodiversity features in the parish



Biodiversity and Nature Recovery Network

- 7.12. The Environment Act includes provision for a mandatory requirement for new developments to provide a 10% biodiversity net gain. On their land, the National Trust advises that given the high level of existing designated sites and rich and varied biodiversity resource within the parish, qualifying development sites should seek to deliver a minimum 20% BNG requirement. On sites outside National Trust ownership, the SDNPA is also exploring options to support a 20% BNG, reflected in the emerging policy aspirations for the South Downs Local Plan Review (Regulation 18), January 2025. The EDFNP supports this uplift in biodiversity net gain.
- 7.13. Often this net gain is delivered on site, but where this is not possible, the EDFNP would support an approach where locations within the parish should be sought. If this is not feasible, sites within the SDNP should be sought before going further afield. An SDNP-funded project (Nature Recovery and Climate Action in the Parish of East Dean and Friston, see Evidence List) is looking at possible nature recovery and climate action opportunities within the parish, but results are not published on a website. The work does not indicate specific sites, rather generalities like "woodland" and "chalk grassland".
- 7.14. However, some smaller areas of biodiversity significance have already been identified as part of the work on the EDFNP (see *Figure 7*) that would benefit from greater protection, with some on private land. In addition, restoration of some hedgerows and poorly-regenerating woodland would be suitable for more conservation input. Grazing management of good-quality chalk grassland is also a priority.
- 7.15. The [Biodiversity Profile](#) identified 13 Areas for Possible Biodiversity Improvement within the parish, most of which are already protected and/or managed for conservation and which should continue to be left as they are. There are a few, covering just a few hectares, which could be better managed for biodiversity. Appendix B contains details of 12 areas that offer opportunities for improving local biodiversity, some of which coincide with the location of the areas of particularly biodiversity value. These are shown in *Figure 8*.
- 7.16. The Environment Act also recognises the need to protect what it describes as "Nature Recovery Networks", joined-up system of places important for wildlife on land and at sea. At the Sussex level the [Seaford to Eastbourne Nature Recovery Project](#), covers an area of approximately 12,000 ha of the iconic landscape and seascape of the Sussex Heritage Coast and hinterland. Part of this incorporates the Chalk Coast Partnership. It should be noted too that a Super Nature Reserve has been proposed by Natural England stretching from Lullington Heath to Seaford Head, Cuckmere Valley, along to Beachy Head, with affiliation of some local farmers/landowners.
- 7.17. Trees and hedgerows: Trees are encouraged to help create green space. They also provide a natural water store, provide shade for people, reduce noise and air pollution, as well as support nature. The South Downs National Park Trust has a [campaign](#) to plant 100,000 trees across the National Park. Species such as the whitebeam, as well as specially-bred disease resistant cultivars of elm should be prioritised. Along with flint walls, hedgerows are a distinctive feature of the parish and should be retained and maintained. Where possible, new hedgerows of mixed native species should be planted, ideally to connect existing hedgerows. This will help to attract wildlife and provide corridors to link fragmented habitats.

- 7.18. Chalk grassland: These grassy downlands hold some of the rarest habitats in the UK, the result of forest clearing as far back as Bronze Age times. Grazed by sheep for centuries, they are home to a remarkable array of plants and creatures. They should be carefully managed and maintained through appropriate grazing management.
- 7.19. Flora and fauna-friendly development: Provision for wildlife needs on-site includes, for example, swift bricks, bird and bat nesting-boxes and wildlife friendly communal green spaces. Ponds too provide an important habitat and are encouraged. In April 2024, the EDF Residents' Association carried out a [pond survey](#) recording at least 74 ponds scattered across the parish from Gayles Farm and Crowlink to the Downlands Estate and East Dean; only a few settled areas did not have. Restoration of dew ponds is also encouraged.
- 7.20. Light pollution: The parish lies within the South Downs International Dark Sky Reserve (IDSR) and the purpose of Policy SD8 of the SDLP is to ensure that development does not harm the quality of the intrinsic dark night skies.

Figure 7: Areas of Biodiversity Significance (see the EDF Biodiversity Profile for detail)

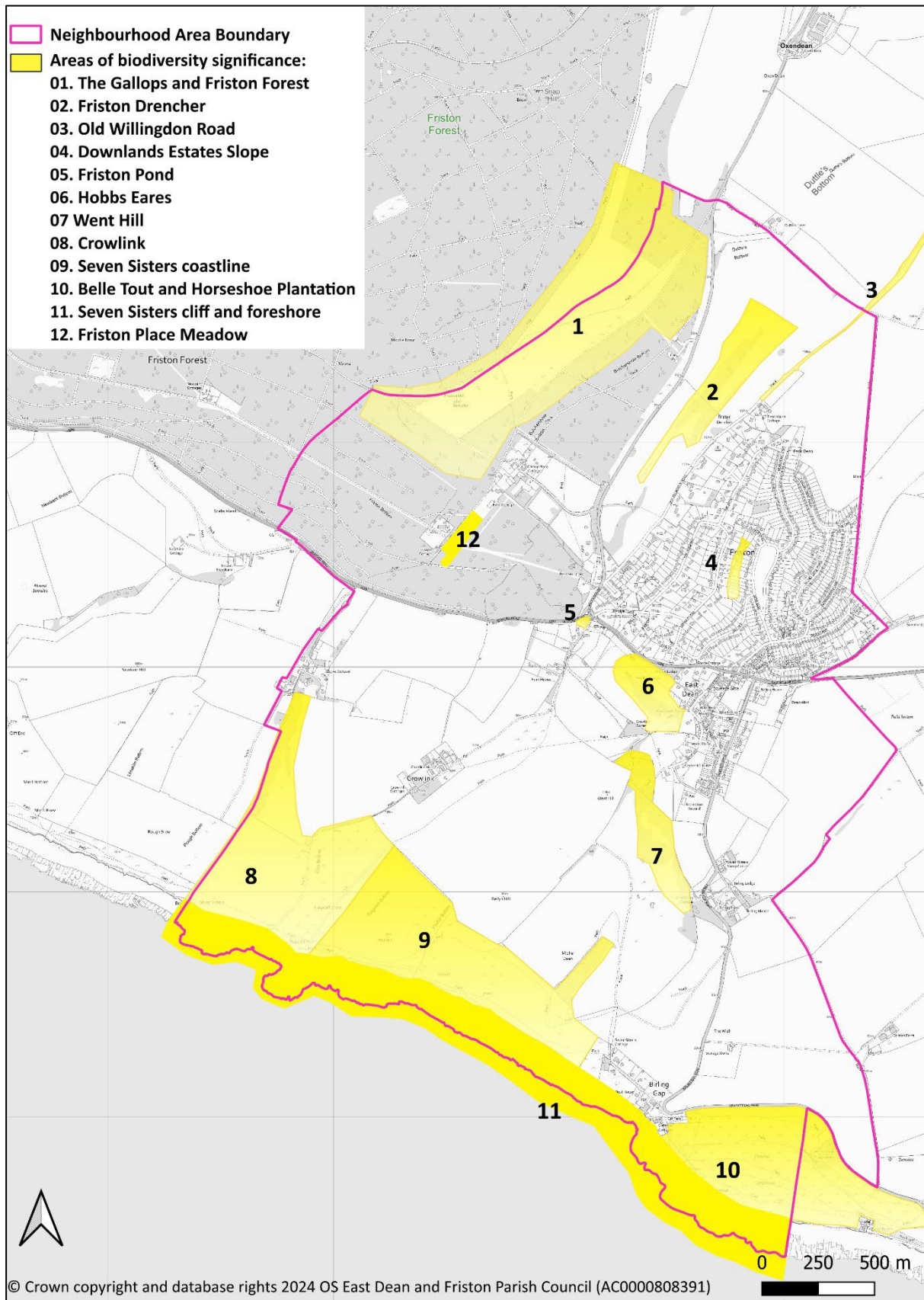
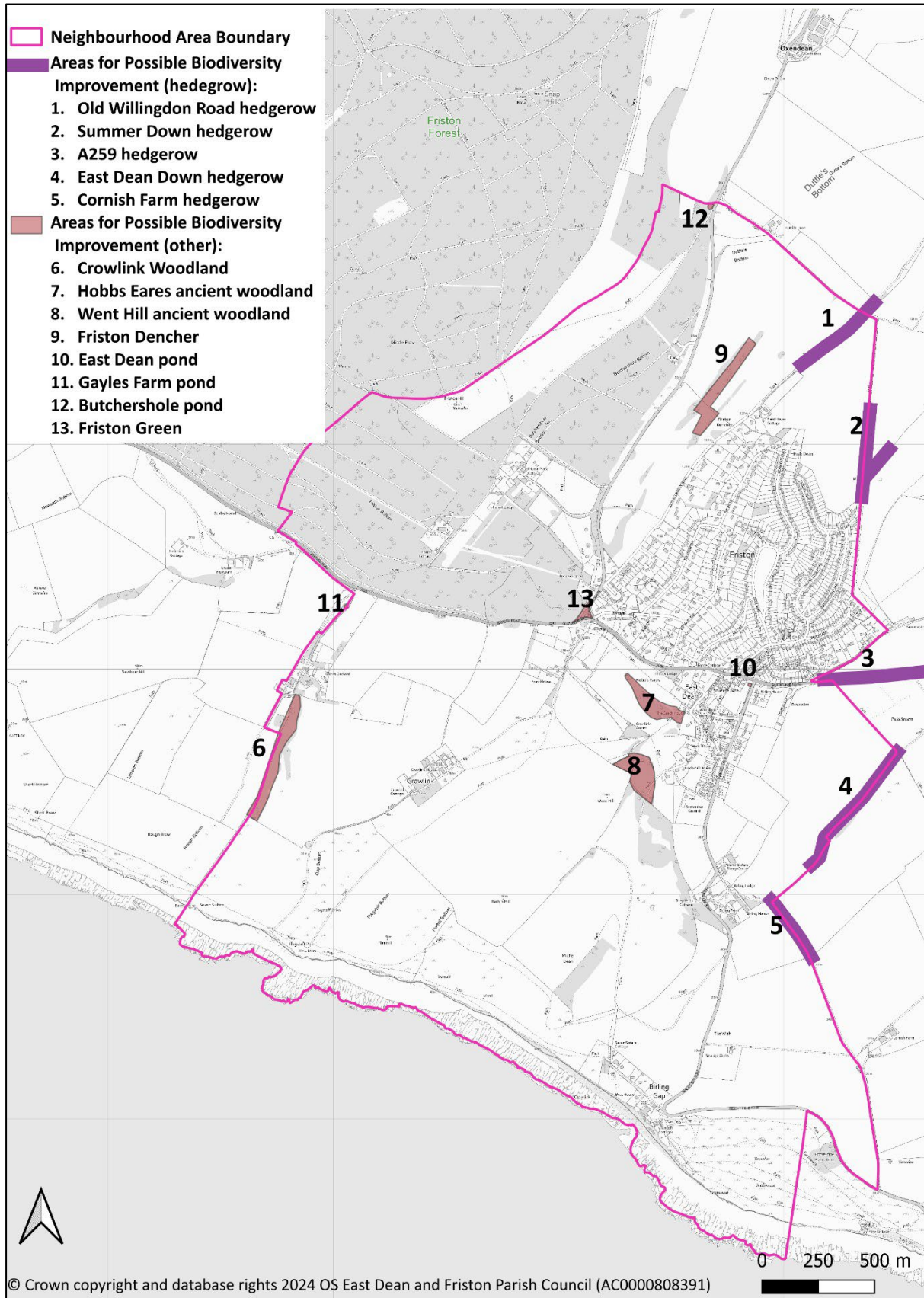


Figure 8: Areas for possible biodiversity improvement



Policy EDF6: Local Green Space

Purpose

- 7.21. The policy designates two Local Green Spaces within East Dean and Friston that are demonstrably special to the local community. This is in addition to the two already designated in the SDLP (The Horsefield and Went Way Allotments).

POLICY EDF6: LOCAL GREEN SPACE

In addition to those designated in the South Downs Local Plan (The Horsefield and Went Way Allotments), the following two areas are designated as local green space as shown on *Figure 9*:

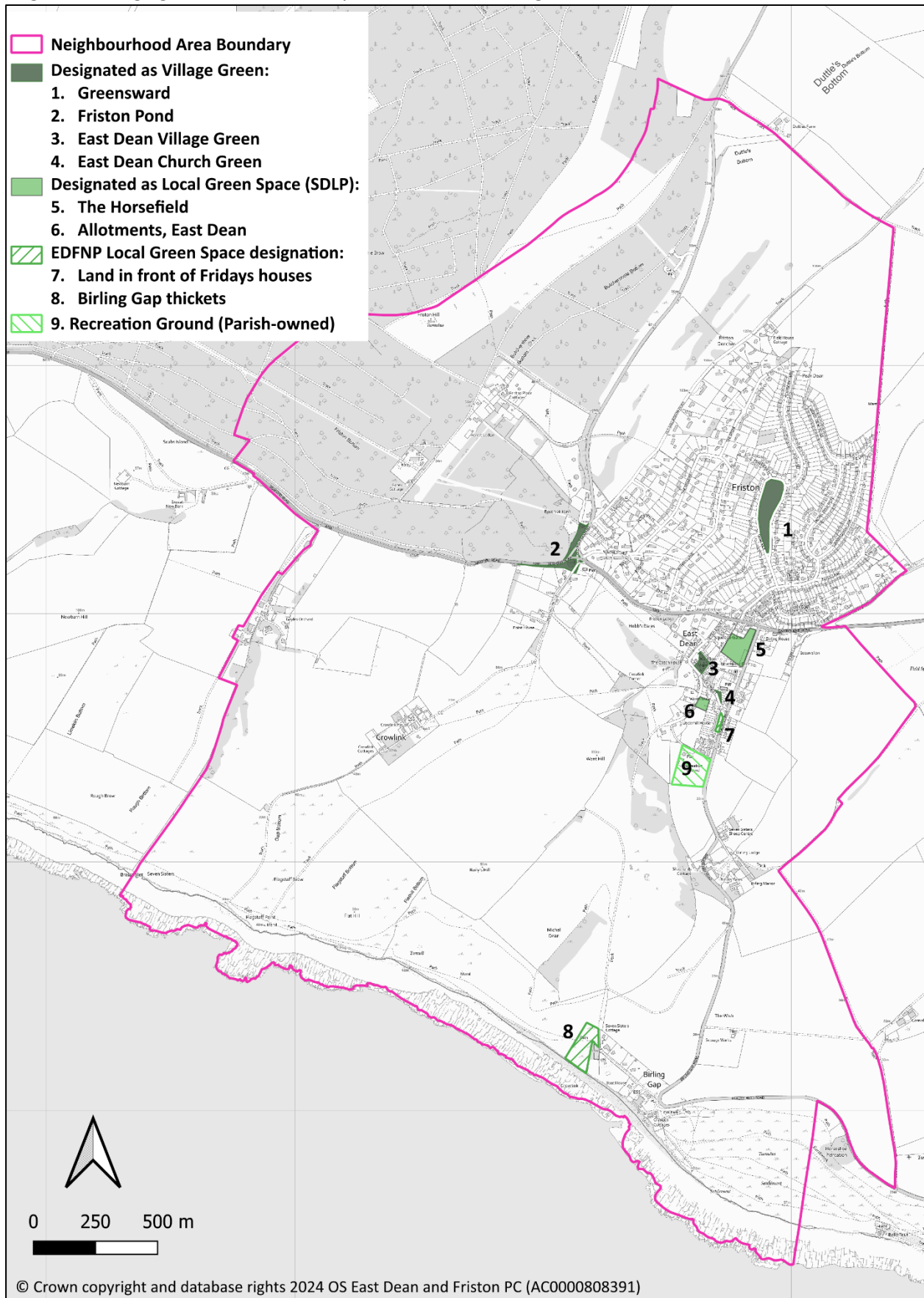
- Land in front of Fridays houses
- Birling Gap thicket

Conformity Reference: NP objectives: 1; SDLP policies: SD47; NPPF (2024): 106 to 108, 153-160

Justification

- 7.22. Under the NPPF, Neighbourhood Plans can designate Local Green Spaces which are of particular importance to the community. This will afford them protection from development other than in very special circumstances. The NPPF says that the Local Green Space designation should only be used where the green space is: in reasonably close proximity to the community it serves; demonstrably special to a local community and holds a particular local significance, for example because of its beauty, historic significance, recreational value (including as a playing field), tranquillity or richness of its wildlife; and local in character and is not an extensive tract of land.
- 7.23. Two spaces are already designated as Local Green Spaces in the SDLP: The Horsefield and Went Way Allotments.
- 7.24. A survey of all green spaces in the parish was undertaken by the Steering Group. Building on feedback from the local community via the survey and Open Day, the long list of proposed green spaces across the parish was reviewed to ascertain whether they might be suitable for designation as a Local Green Space. Several green spaces that are considered important to the local community, for instance the [East Dean Greensward](#), have not been proposed because they are already adequately protected from inappropriate development by other mechanisms, such as Village Green Status. There are in fact four Village Greens in the parish: Friston Pond, the East Dean Greensward, East Dean Church and East Dean/Tiger Inn Village Green. There is also the village Recreation Ground, a QE II Field held in Trust
- 7.25. The following two areas – additional to those already designated in the Local Plan - are considered to fulfil all the criteria of the NPPF:
- Land in front of Fridays houses
 - Birling Gap thicket
- 7.26. *Figure 9* maps the spaces and Appendix C provides information about how they are considered to meet the criteria. Development proposals within the designated local green spaces will be consistent with national policy for Green Belt.

Figure 9: Village greens, Local Green Spaces, and recreation ground



Policy EDF7: Protection of locally significant views

Purpose

7.27. This policy sets out a series of views in and across the parish which have been identified by the community as being important to safeguard. The policy seeks to ensure that development does not harm the identified views, but instead development is designed and informed by the identified views. This is to ensure that any potential impacts on the integrity and scenic quality of the identified views are mitigated. Access to views, and the connection they enable to wider landscape, can positively impact well-being. The policy adds local details to Policy SD6 (Safeguarding Views) of the SDLP.

POLICY EDF7: PROTECTION OF LOCALLY SIGNIFICANT VIEWS

A. Development proposals are required to ensure that they have been informed by, and do not have a significantly detrimental impact on, the views set out below and mapped in *Figure 10*.

- **View 1: The Gallops, Friston Hill**
- **View 2: Top of the Link**
- **View 3: The Greensward**
- **View 4: Hobbes Eares**
- **View 5: Crowlink Valley**
- **View 6: Crowlink Corner**
- **View 7: Went Hill (a)**
- **View 8: Went Hill (b)**
- **View 9: A259 looking west**

B. As appropriate to their scale and nature, development proposals within the neighbourhood area within the shaded arcs of the various views as shown in *Figure 10* should be designed in a way that demonstrates how it has taken into consideration the importance of the locally significant view or views, the potential impacts that such a development may have and how these impacts will be mitigated.

Conformity Reference: NP objectives: 1; SDLP policies: SD4, SD6; NPPF (2024): 131-135, 187

Justification

- 7.28. East Dean and Friston lies in the rolling countryside of the dip slope in the eastern section of the South Downs National Park, with wonderful panoramic views across the Downs to the sea. The topography of the area means that there are some significant long-distance views which contribute to the character of the parish, both for residents and for visitors. There are also important views within the settlements themselves, taking in built and natural features.
- 7.29. The village of East Dean is clearly visible from two main access routes, the A259 coast road and the Beachy Head/Birling Gap road from the south, as well as the network of bridleways and footpaths in the surrounding countryside, including the South Downs Way (part of the King Charles III England Coast Path National Trail). This means that future development should

be sensitive to the preservation of the skyline and both long and short views. Applicants should maintain long distance views between properties, as these are an important feature of the village. This is considered further within the Design Guidance. The loss of views can occur as gaps between buildings are small and made smaller due to extensions which are changing the character of the area. Gaps between buildings in Summerdown Lane, for instance, were originally set at approximately 4 metres, as expressed in the East Dean and Friston Design Guidelines and Codes.

- 7.30. A long list of potential views was drawn up in consultation with the community. This was refined to focus on those considered to be the most important and where threats from development could arise, notably within the settled areas. In consultation with the community, the following views have been identified as being particularly special to the area. *Figure 10* provides a map of the views and further details about why they are important is contained in Appendix D. The views are:

- View 1: The Gallops, Friston Hill
- View 2: Top of the Link
- View 3: The Greensward
- View 4: Hobbes Eares
- View 5: Crowlink Valley
- View 6: Crowlink Corner
- View 7: Went Hill (a)
- View 8: Went Hill (b)
- View 9: A259 looking west

- 7.31. The policy requires that development proposals are designed in a way that safeguards, where possible, the locally significant view or views concerned within the confines of the parish boundary. It attempts to provide the flexibility required for the range of development proposals which will come forward within the Plan period.
- 7.32. In circumstances where the proposed development would be likely to have a significant impact on an identified significant view, the planning application concerned should be accompanied by a landscape and visual impact assessment that is proportionate to the scale of the development proposed. Appropriate mitigation measures should be incorporated within the design of the development proposed and captured in the assessment.
- 7.33. Where identified views stretch into neighbouring parishes, it is the intention of the parish council to discuss those views with the relevant parishes, especially in relation to any future development.

Figure 10: Locally significant views in the Parish (arcs are demonstrative and views may extend further)



8. TRANSPORT AND MOVEMENT

Policy EDF8: Walking/ wheeling, cycling and equestrian opportunities

Purpose

- 8.1. This policy seeks to enhance walking/ wheeling, cycling and, where feasible, horse-riding opportunities to encourage a shift away from the private car for short journeys in and around the parish or as part of longer journeys, such as travel to a railway station or bus stop. This will support the ambitions of the East Sussex Local Transport Plan 4 2024-2050 to connect people and places and support the physical and mental health and wellbeing of local residents and visitors.

POLICY EDF8: WALKING/ WHEELING, CYCLING AND EQUESTRIAN OPPORTUNITIES

- A. As appropriate to their scale, nature and location, development proposals should ensure that residents can access social, community, public transport, local shops and other important facilities in the parish and in neighbouring settlements in a sustainable and safe way. To do this, development proposals should ensure safe walking/ wheeling, and where possible cycle and equestrian, access to link up with the existing public right of way network, and public transport network, as defined in *Figure 11*.**
- B. The provision of new, or the enhancement of existing, cycle and pedestrian/ wheeling routes that are, where feasible, physically separated from vehicular traffic and from one another will be strongly supported. Such routes should be of permeable material and ensure that access by disabled users and users of mobility scooters is secured.**
- C. Insofar as planning permission is required, the design and layout of works related to the widening of footpaths or the provision of traffic-calming measures should enhance the rural character of the area, for example by retaining and/or providing characteristic hedgerows, trees and soft verges where practicable. The materials used must be sympathetic to local character.**
- D. Proposals for new bridleways will be supported. Development proposals should retain existing bridleways. Wherever practicable, development proposals should provide new or amended bridleway links together with safe road crossing points that enable connectivity between the settlements and the wider countryside.**

Conformity Reference: NP objectives: 6; SDLP policies: SD19-20; NPPF (2024): 96, 105, 109, 110, 111, 115, 116, 117, 135

Justification

- 8.2. The rural history of the parish, combined with its coastal location at the eastern entrance to the National Park and with Birling Gap at its southern point, has left the parish with a legacy of footpaths and bridleways throughout. Connections within and between the individual settlements are important as they enable community access to facilities such as shops, the recreation ground and the village green.
- 8.3. The A259, in combination with the presence and significance of Access Land, especially along the coast road, impacts greatly on the parish. This is particularly notable at peak times or when there have been accidents and delays on the strategic route network, causing traffic to divert through the village and along the more rural roads. Notably, when accidents occur

resulting in a road closure on the A259 (there have been nine over the last couple of years) on Friston Hill between East Dean and Friston, traffic diverts through the network of unadopted public roads on the north side of the A259. These roads are on the private estate, maintained by residents, and are not built for the type or volume of traffic that is diverted. Specific roads heading west to east are Windmill Lane, Warren Lane, Hillside, Deneside and Michel Dene Road. It is difficult for two cars to pass each other on certain of these roads and there are no pavements. This often ends up with the roads being gridlocked. The "[Roads in the South Downs](#)" guidance, which was jointly written in 2015 by the National Park Authority and the Highways Authorities sets out standards of road design appropriate to the National Park.

- 8.4. There is a traffic problem along Gilberts Drive to Birling Gap, which is exacerbated by the closure of some car parks and introduction of charges for others along the Beachy Head road. This puts pressure on cars finding alternative routes, including in East Dean and Friston.
- 8.5. Traffic through the parish along this route is likely to be exacerbated once the current single-lane Exeat Bridge, which crosses the Cuckmere River to the west of the parish just before Seaford, is replaced. The current bridge is old and fairly narrow and may be replaced by a new parallel full-width bridge. Whilst the new bridge will reduce queuing through the bridge area itself, the knock-on effect of additional and more free-flowing traffic could cause an increase to the traffic speed and density, including along the A259. Crossing the A259 at peak times could become increasingly difficult and/or dangerous, particularly for elderly people who need more time to cross. Further information on traffic flows and impacts can be found on the [Levelling Up Application Form](#) relating to the project.
- 8.6. Furthermore, the planned development in areas beyond the parish boundary, for instance the large-scale housing development at Polegate and tourism development at Black Robin Farm, will likely further increase through-traffic.
- 8.7. The EDNP has little influence over strategic transport matters, including rail and roads. This is largely the responsibility of the Highways Authority. However, the roads on the Downlands Estate, north of the A259 are private roads and are not maintained at public expense, albeit they are public highways. A company, East Dean Downlands (Roads) Ltd (EDDR), was specifically created for the purpose of maintaining the 5 miles of private roads and over 200 gulleys on the Downlands Estate and residents contribute to EDDR by way of an annual levy per household.
- 8.8. Recognising that construction traffic can have a detrimental impact on the substructure of the private estate roads, an additional fee may be levied by EDDR where Downlands Estate properties are developed.
- 8.9. There are few footpaths for pedestrians adjacent to the Estate roads, and the roads themselves are relatively narrow. Although EDDR's main objective is the maintenance of the private roads and related drainage systems, the company is conscious of the need to be pedestrian and environmentally friendly when planning maintenance work and commissioning various contractors. In this regard, EDDR is supportive of the PC initiative to introduce a 20mph speed limit on all Estate roads.
- 8.10. The EDFNP can encourage more active travel to be undertaken by walking/ wheeling, cycling, horse-riding. It can also lobby ESCC for additional public transport provision. This would help to reduce the amount of (local) private traffic on the roads, reduce congestion, contribute to

air quality improvements and would have a positive impact on the physical and mental health and wellbeing of local residents and visitors.

- 8.11. As noted in Section 6, the parish attracts a significant number of visitors, many arriving by public transport. Improving the walking/ wheeling and cycling network will benefit visitors by keeping them away from the roads and onto the safer network of paths.
- 8.12. Engagement for the EDFNP highlighted a number of areas where improvements would be helpful in relation to transport and movement. Specific opportunities to progress these improvements (shown on *Figure 11*) should be sought:
 1. Promotion of the East Dean to Birling Gap walking routes – diverting residents and notably visitors away from the main roads when walking to Birling Gap. Birling Gap Road has no footways but is often seen as the most direct route from East Dean to the coast. Many visitors arriving by bus naturally walk this way. Whilst a path alongside the road may be sought, there is an opportunity to signpost the existing alternative off-road rights of ways to visitors and also to ensure that those routes are accessible throughout the year. Co-ordination with the SDNPA and the NT to promote these alternative, safer routes is required. For instance, additional access information (including multilingual) for those arriving into East Dean could be provided on the [NT website](#) and other social media channels. Equally, it could be added to the [National Trails website](#) to raise awareness of the Public Rights of Way (PRoW) between East Dean and Birling Gap. These connections should be promoted to encourage use of the off-road routes, instead of walking along the main roads. Bridleway 13b (from East Dean village over Went Hill to Birling Gap) would provide the most direct route to and from the village. A circular route taking in the South Downs Way and Bridleway 9c (from Friston church through Crowlink to the coast) could be signed. The use of the informal paths and tracks could also be explored.
 2. New signage could be installed in the area to direct visitors along safe routes to the KCIIECP and South Downs Way. Further, surfacing improvements could be delivered along the PRoW that would support an accessible off-road route throughout the year. Promoting (a circular) East Dean to Birling Gap cycle path – a cycle path, distinct from the road would be supported. Bridleway 13b could be improved for this purpose, as could Bridleway 9c. Note that although both are bridleways and can be used by cyclists, the path linking them along the cliffs is footpath only. It would need new designation as Bridleway to form a loop. On *Figure 11*, note that this opportunity is relevant to Bridleway 13b and 9c.
 3. A car parking solution for Birling Gap is required – possibly to incorporate a park and ride facility to locations elsewhere. This would restrict cars from parking on the rural roads which impacts verges and causes congestion. A car park location further away from Birling Gap itself would reduce the number of cars accessing this part of the parish. Similarly, the impact of cars travelling to Birling Gap from the nearby tourist development at Black Robin Farm should be carefully considered in discussion with the site owners and the National Trust.



Car parking at Birling Gap

4. Maintenance of the car park in Downlands Way, which is owned by the Parish Council. Additional signage (including in foreign languages) may be helpful.
 5. Reopening the footway alongside Recreation Ground from Went Way. Currently the playground is only accessible via the busy Gilbert's Drive because of this closure.
 6. Provision of a (segregated) cycle lane between Friston Hill and East Dean.
 7. Access along Bridleway 26b (from Gilberts Drive at Dunwick Barn uphill towards Mill Down) needs to be retained and protected. It is important that statutory public footpath access is maintained after a minor change to routing took place, which was then not statutorily designated.
 8. Explore provision of a safe crossing point for pedestrians at the junction of the Jevington Road and Seaford Road (A259) by Friston Pond. This was highlighted by the community as difficult to cross. It is a key point on the route network for pedestrians from the settlements to the north of the A259 to reach the rights of way to the south. A path connecting the Old Willingdon Road to Windmill Lane would also be beneficial.
 9. In the context of previous comments relating to additional traffic once the Exceat bridge has been replaced, an additional refuge on the A259 next to the Michel Dene Road junction would be welcomed. A zebra crossing at the top of Gilberts Drive would also be helpful.
 10. Enhancements to the safety, amenity or accessibility of the King Charles III England Coast Path National Trail, including links with surrounding Public Rights of Way and local communities.
- 8.13. Additional improvements, which are not location specific include:
- Provision of cycling route access to Eastbourne.
 - Encouraging people to use buses rather than cars.

- Managing the use of footpaths at certain seasons (e.g. nesting season) to limit impacts on wildlife.
- More signage of the rights of way network including sites of interest along the routes – directions, history, environment, walks, flora and fauna etc.
- Better control of traffic and parking and speeding including along Gilberts Drive and the coast road.
- Maintenance of footpaths, including from erosion. The footpath over the Seven Sisters has been particularly mentioned as has the Forest Mountain Bike Trail.
- Introducing slower traffic speeds / traffic calming off the main A259.

8.14. Specific measures to assist disabled persons locally include:

- Engaging with those people with disabilities in a way which will identify and seek solutions to any general issues they experience whilst out in the village.
- Downlands Way Shops/ businesses: Repaint the disabled parking space. Re-site the dropped curb area in front of the butcher's shop. Provide a dropped curb between the fans and bins to the right of the village store. It would be behind the cars and therefore accessible.
- Car parking:
 - a. Provision of two disabled parking spaces in the top car park past the village hall to help access to the Tiger and Hiker's Rest;
 - b. Provision of a disabled parking space by the East Dean Church arch in Gilberts Drive.
 - c. Provision of a disabled parking space by Friston Church
- Improving the condition of the path from the Beehive down to the Tiger Inn and Hikers Rest.

8.15. The aspirations could be included in the East Sussex Local Cycling and Walking Infrastructure Plan (LCWIP), which ESCC will be reviewing following the adoption of the East Sussex Local Transport Plan 4 (LTP4) in October 2024.

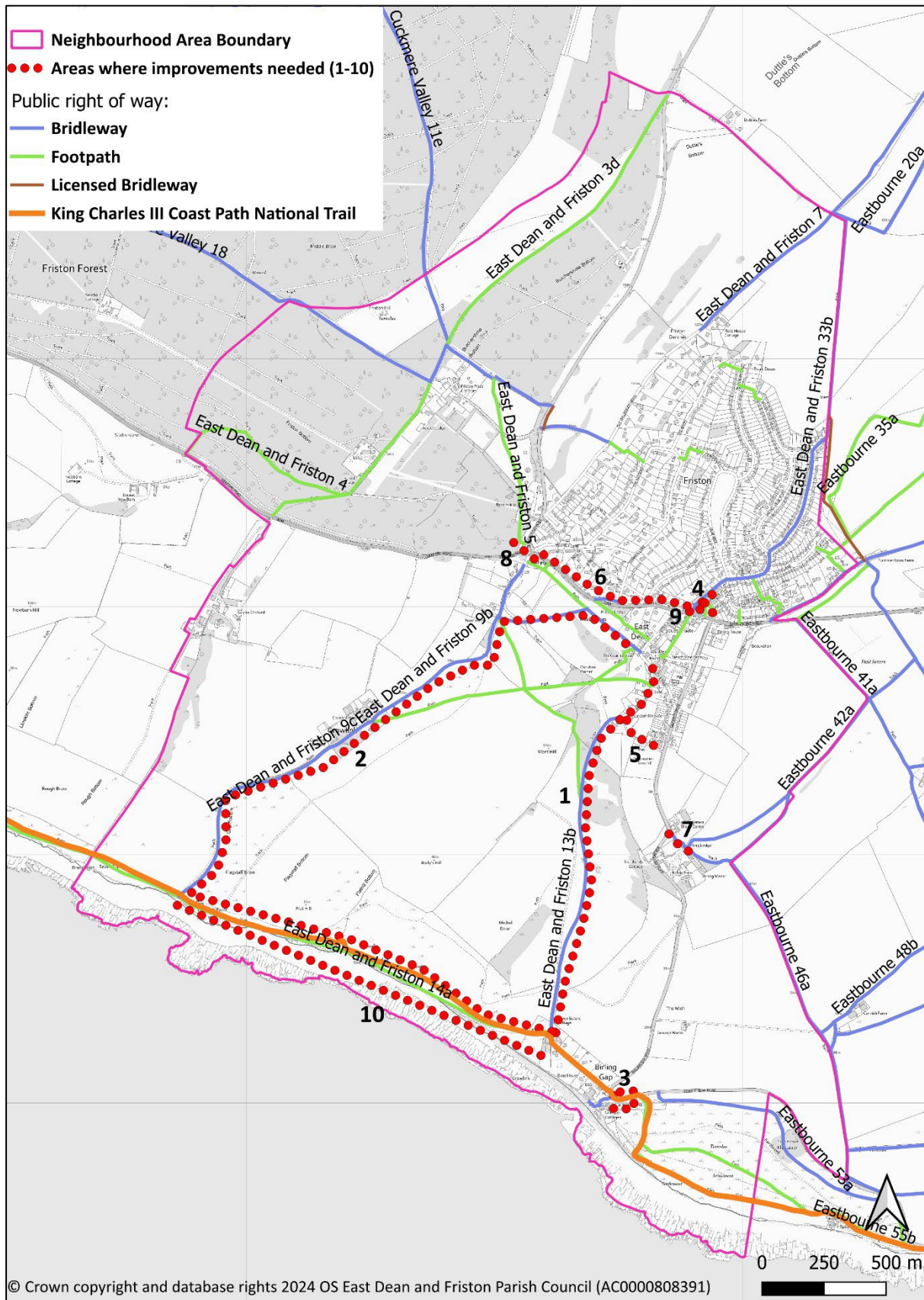
Public Transport in East Dean and Friston

- 8.16. In addition to the proposals set out above, there is a general desire locally to improve access to, frequency and reliability of public transport in the parish. The Community Surveys revealed that the community have concerns about the frequency of buses, particularly in the evenings and at weekends.
- 8.17. Whilst such improvements sit outside the scope of the neighbourhood plan itself, they are noted within the Non-Policy Actions section as activities for the Parish Council and wider community to pursue with private operators and the highways authority. Aspirations could be reflected in the [East Sussex Bus Service Improvement Plan \(BSIP\)](#), which sets out ESCCs plans and supporting policies to improve bus services.

Community Transport

- 8.18. Residents of East Dean and Friston benefit for the provision of a twice-weekly community bus service providing return trips to Eastbourne for shopping, appointments and for leisure. This valuable community asset not only provides an accessible and reliable means of travel but adds to the wellbeing of residents who may otherwise feel disconnected from the wider community. For many of those with restricted mobility the bus offers a door-to-door service, making travel that much more accessible.

Figure 11: Movement map of the parish (see supporting text at para 8.12 for explanation of 1-10)



9. COMMUNITY FACILITIES

Policy EDF9: Improving opportunities for community and cultural facilities, sport and recreation

Purpose

- 9.1. This policy seeks to support the delivery of a range of community facilities in the parish, to serve all parts of the community. This will contribute to social inclusion and physical and mental health and wellbeing.

POLICY EDF9: IMPROVING OPPORTUNITIES FOR COMMUNITY AND CULTURAL FACILITIES, SPORT AND RECREATION

- A. Proposals for new community, cultural, sport and recreational facilities, or the improvement of existing facilities, in particular facilities for children and teenagers, improvements to the recreation ground and sports pavilion and Downlands Way community space, will be supported where:**
- i. the proposal does not detract from the overall character and landscape setting of the area; and**
 - ii. the proposal would not have significant harmful impacts on the amenities of surrounding residents and the local environment; and**
 - iii. the proposal would not have significant adverse impacts upon the local road network; and**
 - iv. the proposal would not have harmful impacts on heritage assets, including their setting unless the public benefits arising from the development outweigh that harmful impact.**
- B. The provision of new and upgraded and accessible play areas to serve the needs of children of all ages, abilities and genders, in accordance with South Downs Open Space, Sports and Recreation Standards, will be encouraged. A broad location to the north of the A259 is supported. Where possible, these should incorporate areas for 'natural play' (defined as play provision with predominantly natural materials as opposed to 'man-made' ones).**
- C. Proposals which deliver publicly accessible toilet facilities and, where possible, a Changing Places facility, will be strongly supported.**

Conformity Reference: NP objectives: 4; SDNP: SD43, SD46; NPPF (2024): 96, 98, 100, 103, 104

Justification

- 9.2. There is a thriving set of community groups and organisations operating in the parish including the East Dean and Friston Residents' Association, the Local History Group and the Cricket Club. There is a regular market and coffee morning held at the Village Hall. There are also a range of community facilities, including the Recreation Ground and Sports Pavilion which is protected as a QEII Field in Trust. Through the engagement, residents revealed that they would like to protect such community facilities and improve access, including by bus (which could be a consideration in the East Sussex Bus Service Improvement Plan). In addition, people would like a Post Office, surgery and pharmacy and want to improve the areas around the shops on Downlands Way to incorporate more community space.

- 9.3. There is a need for better mobile and wifi services, which are very poor in areas and restrict business opportunities, especially working from home. This is beyond the scope of the planning framework and is included as an action in Section 12.
- 9.4. The EDFNP supports the ongoing provision of the range of facilities and in particular the following priorities have been highlighted by the community:
- Additional provision of public spaces for play and recreation – many residents have called for additional natural playspace for younger and older children, ideally to the north of the A259. This would consist of elements and textures from the earth such as tree logs, tree stumps, boulders, plants, and drainage paths, among others instead of a traditional steel playground structure that includes slides and climbers. There has been some consideration of using a space on the Greensward for younger children in the parish. At the moment, the only provision is at the recreation ground at the southern limits of East Dean village, which is far from the majority of residential properties and with access only along a busy road with limited footpaths. Playspace should incorporate disability/wheelchair friendly apparatus. The [Make Space for Girls](#) guidance is also helpful here.
 - Facilities aimed at teenagers – The following input was gained from younger residents, both via the youth Survey and individual meetings with local groups:
 - Recreation ground including tennis courts: The majority of the younger residents surveyed value the Recreation Ground. Alongside many older residents, a large proportion of the younger residents requested the redevelopment of the tennis courts, this included improving the playing surface and the nets and the basketball hoops. They also requested other recreational facilities to be sited on the Recreation Ground such as better goal posts, and a boules pit.
 - Additional provision of public spaces for play and recreation: Together with older residents, the Greensward is highly valued by those younger residents surveyed, and aspirations were expressed by them concerning the desire for more activities to take place on the green, such as social events and other community activities.
 - Use of the Village Hall by younger residents: The Village Hall is host to a thriving set of community activities but currently has no youth club located there, or youth specific recreational clubs. Opportunities to facilitate more provision for our younger residents is seen as a priority.
 - Improvements to the cricket pavilion – the Parish Council is investigating the possibility of building a new hall to provide practical activities for younger people and services to tackle isolation. This would be on the same site as the existing cricket pavilion.
 - The redevelopment of the tennis courts – the current court at the recreation ground is short and the surfacing is in need of replacement. An associated action would be providing easier access to the court, for instance through an automated booking system.

- Provision of a permanent table tennis table – a location near the cricket pavilion has been suggested.
- Improvements to the Bowls Club - This is a recreational facility greatly valued by many in the Parish. Opportunities to secure the survival of the Bowls Club are supported to ensure that the facility can be used for not only recreation, but to improve the health and wellbeing of those residents and visitors using it, well into the future.
- Allotments located in the Parish - Both the allotments in Went Way, and those on the village green are important green spaces valued by residents. Whilst the allotments at Went Way are listed as a Green Space, those on the Village Green are not. Opportunities to promote the use of the allotments by the community will be supported in order to protect the ability they have to promote mental and physical wellbeing, and the environmental benefits that are inherent in growing your own food.
- Community space around the shops on Downlands Way – opportunities to expand this space for community use are supported, for instance the repurposing of part of the public parking area, which would have the added benefit of attracting additional footfall for the businesses located here.
- Provision of public toilet facilities – which are designed in a way to reduce anti-social behaviour. Accessible facilities, such as a Changing Places (see Evidence base and <https://www.independentliving.co.uk> for definitions) would be encouraged.

10. IMPLEMENTATION AND PLAN REVIEW

- 10.1. East Dean and Friston Parish Council is the qualifying body responsible for the Neighbourhood Plan.
- 10.2. Once the Plan has been 'made', there will be a series of actions that need to be undertaken to ensure that the policies within the EDFNP are being interpreted and used in the way intended. It will also be necessary to maintain a watching brief on changes to the planning policy landscape, both at the national and local planning authority levels, which may have an impact on the Plan's policies. Finally, any non-planning-related projects and activities that were identified will need to be prioritised for delivery, in partnership with other organisations.
- 10.3. Specific actions to be undertaken are as follows:
 - Pursuing the projects and activities that are not policy-based, but nevertheless contribute to the delivery of the Plan - these are set out in Section 13, divided into priorities towards which developer contributions may be directed and broader, community projects, which have been collated throughout the process, but which sit beyond planning policy. A range of organisations may be involved in delivering these projects and there will be a need for a co-ordinated approach. Many will require funding and therefore it would be helpful to consult with the community to understand the potential costs and achievability of each. Funding may be sourced from developer contributions or tailored funds, such as the Big Lottery Fund and SDLP grants.
 - Commenting on planning applications or consultations relating to the neighbourhood plan area – the Parish Council has a role in ensuring that the EDFNP policies are being adequately considered, where relevant, in decisions to determine the outcome of planning applications in the Parish.
 - Monitoring the application of the EDFNP policies to ensure they have been applied consistently and interpreted correctly in response to planning applications – there is scope to identify indicators to measure the effect that each policy is having and the extent to which this is delivering against the associated objective. As a minimum, the Parish Council would wish to maintain a log of planning applications relating to the neighbourhood area, detailing which Neighbourhood Plan policies have informed the Parish Council response and the outcome of the decision. This will assist in understanding whether the policies have been used in the manner intended or whether changes may be required, for instance in any future review of the Neighbourhood Plan.
 - Maintaining a dialogue with the SDNPA regarding the timing and content of the emerging Local Plan – it will be important to consider the policies in the emerging document and how these may impact the EDFNP policies. The adoption of the new Local Plan may trigger a light-touch review of the EDFNP.
 - Maintaining a dialogue with the SDNPA and the promoter/developers of the sites allocated within the Local Plan.
- 10.4. Maintaining a watching brief on the national policy landscape – changes at the national level may impact on the policies contained in the Local Plan and the Neighbourhood Plan. It is

therefore important to keep abreast of this, as this could also provide a trigger to undertake a light-touch review of the Neighbourhood Plan.

- Maintaining a dialogue with neighbouring parishes on cross-boundary projects, for instance the development of a Heritage Coast consortium.
 - Maintaining a dialogue with the local community on the plan implementation – ensuring that all records of how the plan has been used should be made public. It is also recommended that a regular update – for instance at the Annual Parish Meeting – is provided, to feed back to the community on progress about both the effectiveness of the policies and the pursing of the projects.
 - Monitoring the Government’s devolution agenda and implications for the parish.
- 10.5. Considering gaps in the Neighbourhood Plan – local issues, concerns or opportunities may arise during the lifespan of the Plan that trigger the need for the inclusion of a new policy. Such issues can be most effectively understood by maintaining open dialogue with the community and other partners.
- 10.6. Whilst it is not a legislative requirement to review a Neighbourhood Plan, it is good practice to do so periodically. This may be because of any of the points noted above. A light-touch review will enable the Parish Council to keep the Neighbourhood Plan up to date in general terms, and to ensure that it remains in general conformity with the wider development plan. Any review should be undertaken in partnership with and ensuring the engagement of the wider community.
- 10.7. The Parish Council will consider how best to progress these actions.

11. INFRASTRUCTURE IMPROVEMENTS AND PROVISION

- 11.1. The Parish Council is keen to influence the way in which developer contributions are spent in the neighbourhood area to the full extent of their powers under national legislation and planning guidance.
- 11.2. There are different types of contributions arising from section 106 agreements, section 278 agreements and the Community Infrastructure Levy (CIL):
- A section 106 agreement (based on that section of the 1990 Town & Country Planning Act) or planning obligation is a private agreement made between local authorities and developers and can be attached to a planning permission to make acceptable development which would otherwise be unacceptable in planning terms.
 - A section 278 agreement refers to a section of the Highways Act 1980 that allows developers to enter into a legal agreement with the local authority to make alterations or improvements to a public highway as part of a planning application.
 - The Community Infrastructure Levy (CIL) is a non-negotiable charge on development based on a fixed rate per square metre of net additional development on a site and levied by the SDNPA. Different charge rates apply for different types of uses and in different areas: see the [SDNPA CIL Charging Schedule](#). The levy is intended to fund the provision, improvement, replacement or maintenance of infrastructure required to support development in an area as set out in its local plan. With a 'made' (adopted) Neighbourhood Plan, the local community would benefit from an uplift in the level of CIL received, from 15% (capped at £100 per existing property) to an uncapped 25% of CIL receipts from the neighbourhood area.
 - The neighbourhood portion of the levy can be spent on a wider range of things than the rest of the levy, provided that it meets the requirement to 'support the development of the area' (see regulation 59C inserted by the 2013 Regulations for details). The wider definition means that the neighbourhood portion can be spent on things other than infrastructure (as defined in the Community Infrastructure Levy regulations) provided it is concerned with addressing the demands that development places on the parish's area. For example, the pot could be used to fund affordable housing.
- 11.3. The Parish Council regularly reviews its spending priorities. Any proposed changes to spending principles or priorities will be published for comment by the community and other interested parties. Once finalised, any updated list will be published on the Parish Council website and in relevant literature.

12. NON-POLICY ACTIONS

The following issues are not land-use or spatial planning related but have been raised by the community as important to consider collectively.

Ref	Issue	Potential actions	Lead agencies / partners
1.	Lack of affordable homes	<ul style="list-style-type: none"> Explore potential for a Rural Exception Site / Community Land Trust 	Parish Council Local landowners Residents' Association
2.	Mitigating climate change – steps to be taken at the grassroots level to help this global agenda	<ul style="list-style-type: none"> Considering the findings of the Carbon Footprint Report and how these might be achieved. Promoting installation of solar panels Encouraging uptake of home insulation 	Parish Council SDNPA Residents' Association Climate Friends Businesses Landowners
3.	Mobile and wifi connectivity – service is poor in parts of the parish	<ul style="list-style-type: none"> Audit of accessibility to the infrastructure and considering, with providers, potential solutions including potential site for a mobile network mast. 	East Sussex County Council SDNPA Broadband providers Mobile network provider
4.	Supporting biodiversity – the parish is rich in biodiversity, which needs to be protected and enhanced	<u>Communal areas:</u> <ul style="list-style-type: none"> Longer period between grass cutting on village greens and verges to leave some areas 'wild'. Planting wildflowers in designated areas e.g. local green spaces, verges etc. Reinstate dried up pond at the corner of Gilbert Drive and A259. Work with Wildlife Trust to maintain Friston Pond. Become a Pesticide Free Zone (part of Pesticide Free Network - www.pan-uk.org/pesticide-free). Maintain scrub or scrub planting (brambles and hawthorn). Adding a green roof to buildings/ bus shelters etc. Provision to support migrating birds. 	Parish Council SDNPA Residents' Association Climate Friends Businesses Landowners and Land Managers The National Trust Forestry England Sussex Wildlife Trust Wealden District Council Friends of the South Downs

		<ul style="list-style-type: none"> • Identify non-residential land areas in the parish suitable for nature recovery and to link up wildlife areas (links to Recovery and Climate Action project). • Explore options to officially register biodiversity opportunity areas. <p><u>Encouraging individual action:</u></p> <ul style="list-style-type: none"> • Encourage residents to consider creating a garden pond. • Advice to residents on how to minimise external lighting. • Encouraging native tree and hedgerow planting and wildflower gardens / 'no mow' areas. • Use of climbing plants on walls which can provide shelter and foraging opportunities for wildlife. • Supporting grassland or permeable 'living driveways'. 	Countryside Charity Residents' Association
5.	Getting around - enhancing opportunities for walking, cycling and equestrian	<ul style="list-style-type: none"> • Exploring options to reduce speed limits on village approach roads and towards Birling Gap. • Additional signage of safer off-road walking routes. • Working with National Trust to promote specific walking routes aimed at visitors, notably to and from Birling Gap • Exploring options for cycling routes. • Maintenance of footways. • Seek the inclusion of proposed walking/ wheeling, cycling and equestrian improvements within the revised LCWIP. • Inputting into the Bus Service Improvement Plan for East Sussex County Council. 	East Sussex County Council Highways Residents' Association Parish Council National Trust Sustrans SDNPA
6.	Local facilities – supporting the need for a core of local facilities to serve parishioners	<ul style="list-style-type: none"> • Consider listing key local shops and services as Assets of Community Value. • Explore whether community provision of key services can be achieved e.g. Post Office, pop-up GP surgery. • Provision of more seating in green areas. • Explore whether a public toilet scheme could be introduced. 	SDNPA Residents' Association Parish Council Village Hall Committee Businesses
7.	Sustainable tourism – there is a need to balance the impact of	<ul style="list-style-type: none"> • Explore ways to manage visitors more sustainably through provision of primary visitor routes, information etc. • Consider how to encourage visitors to spend time in the village – activities, events etc. • Address parking issues at Birling Gap, where parking on verges is a problem. Work with landowners to explore alternative parking provision, link to the foot/cycle network. 	SDNPA Parish Council Landowners National Trust Residents' Association

	tourists on the environment versus their input to local economy.	<ul style="list-style-type: none"> • Explore the use of disused shepherds' huts as places for writers and artists. • Potential to restate the Heritage Coast consortium for common cross-boundary issues. • An action to develop a sustainable tourism strategy for the parish would be an important piece of work to manage the impacts of rising visitor numbers. • Projects as outlined in paras 8.12 to 8.15. 	
8.	Communications – opportunities to enhance communication of activities with residents.	<ul style="list-style-type: none"> • Village website expansion: to improve communication within our community; to help address loneliness amongst the elderly, young people and hard to reach members of our community; to help communicate opportunities for socialisation which can help improve mental health of residents and local people; to promote increase in activity and physical fitness. • Work with mobile and broadband providers to improve access throughout the parish. 	Parish Council Local groups and organisations Residents' Association Mobile/ broadband providers
9.	Disabled persons issues – transport related	<ul style="list-style-type: none"> • Engage with those people with disabilities in a way which will identify and seek solutions to any general issues they experience whilst out in the village. • Downlands Way Shops/ businesses: Repaint the disabled parking space. Re-site the dropped curb area in front of the (Butchers?) Provide a dropped curb between the fans and bins to the right of the village store. It would be behind the cars and therefore accessible. • Car parking: <ol style="list-style-type: none"> 1. Provision of two disabled parking spaces in the top car park past the village hall to help access to the Tiger and Hiker's Rest; 2. Provision of a disabled parking space by the East Dean Church arch in Gilberts Drive. 3. Provision of a disabled parking space by Friston Church 4. Improving the condition of the path from the Beehive down to the Tiger Inn and Hikers Rest. 	Parish Council, business owners
10.	Business Infrastructure	<ul style="list-style-type: none"> • Exploring provision of business lock-ups and premises. • Support for local businesses and enterprises. 	Local businesses, Parish Council

13. POLICIES MAPS

Figures 12 and 13 show the designations in the Parish.

Key to Policies maps:







	Neighbourhood Area Boundary
	Settlement Boundary
Character Areas (Policy EDF2)	
	East Dean
	Friston
	Old Village
	Outlying
	Scheduled Monument
	Conservation Area (Policy EDF4)
	Listed building (Policy EDF4)
	Non-designated heritage assets (Policy EDF4)
	SSSI (Policy EDF5)
	Ancient Woodland (Policy EDF5)
	Local Wildlife Site (Policy EDF5)
	Areas for Possible Biodiversity Improvement (hedgerow) (Policy EDF5)
	Areas for Possible Biodiversity Improvement (other) (Policy EDF5)
	Local Green Space (SD Local Plan) (Policy EDF6)
	Local Green Space (EDFNP) (Policy EDF6)
	Village Green
	Recreation Ground
	Local Geological Site (Policy EDF5)
	Meadow and wildlife verges designated by ESCC (Policy EDF5)
	Locally significant view (Policy EDF7)
	Rights of way improvements (Policy EDF8)
	King Charles III Coast Path National Trail (Policy EDF8)

Figure 12: Policies Map - whole parish

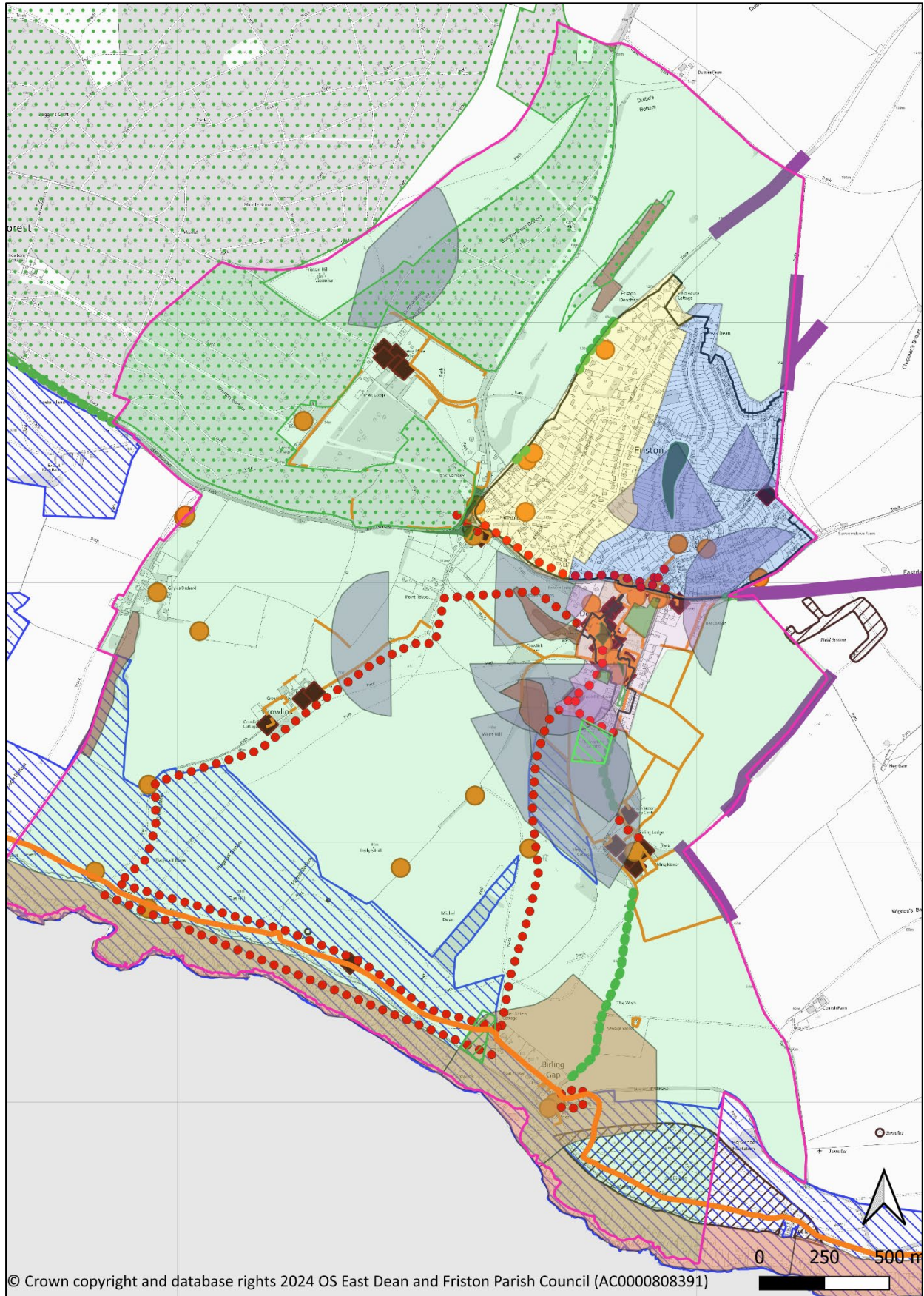
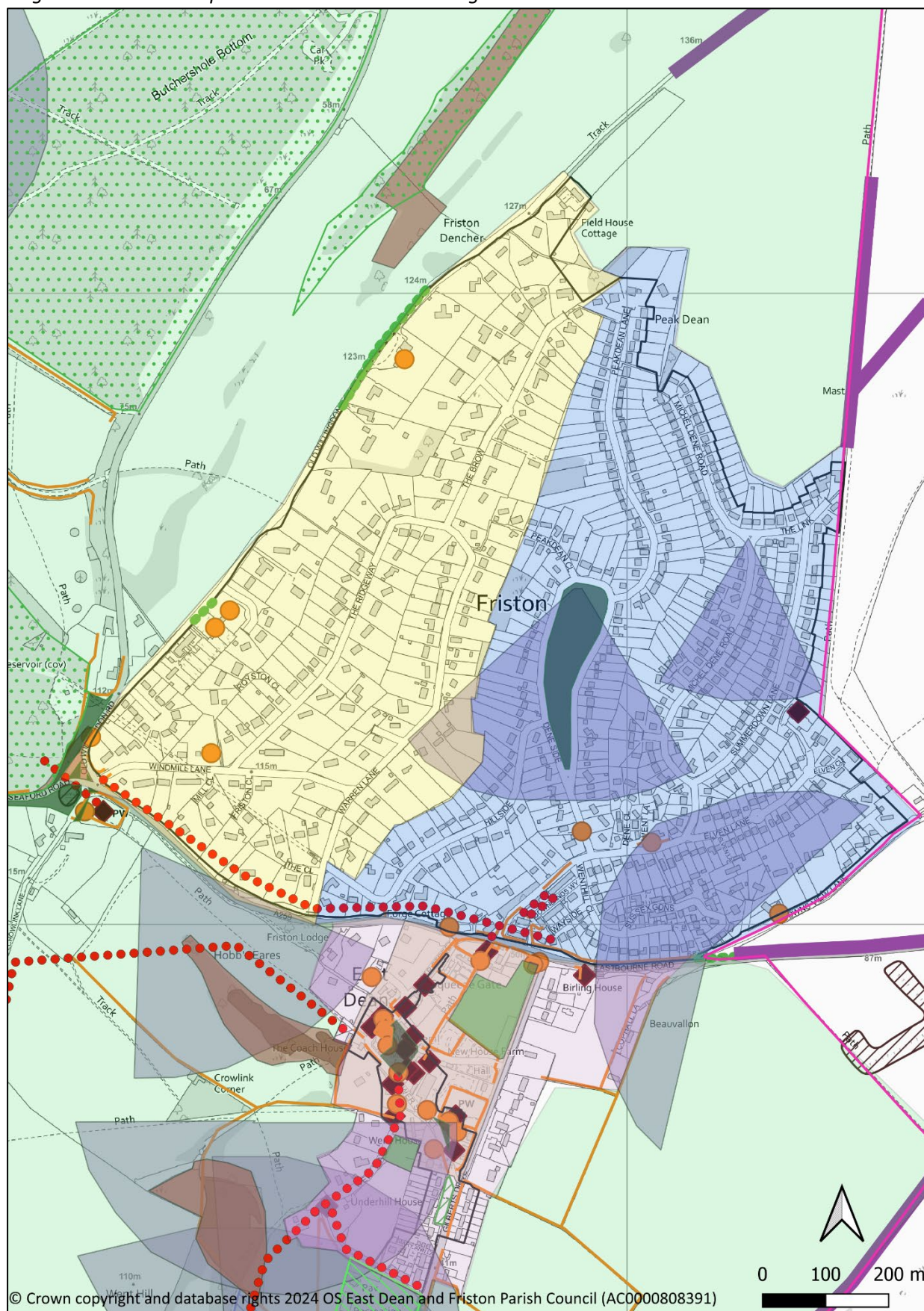


Figure 13: Policies Map - Friston and East Dean villages



14. GLOSSARY

- **Access Land:** Access land refers to areas of mountains, moors, heaths, and downs in England and Wales where the public has a right to walk, run, watch wildlife, and perform other similar activities without having to stick to paths. This right is granted by the [Countryside and Rights of Way \(CROW\) Act 2000](#).
- **Active travel:** defined as walking or cycling as a means of transport, in order to get to a particular destination such as work, the shops or to visit friends.
- **Affordable housing:** housing for sale or rent, for those whose needs are not met by the market (including housing that provides a subsidised route to home ownership and/or is for essential local workers); and which complies with one or more of the following definitions:
 - a) **Social Rent:** meets all of the following conditions: (a) the rent is set in accordance with the Government's rent policy for Social Rent; (b) the landlord is a registered provider; and (c) it includes provisions to remain at an affordable price for future eligible households, or for the subsidy to be recycled for alternative affordable housing provision.
 - b) **Other affordable housing for rent:** meets all of the following conditions: (a) the rent is set in accordance with the Government's rent policy for Affordable Rent, or is at least 20% below local market rents (including service charges where applicable); (b) the landlord is a registered provider, except where it is included as part of a Build to Rent scheme (in which case the landlord need not be a registered provider); and (c) it includes provisions to remain at an affordable price for future eligible households, or for the subsidy to be recycled for alternative affordable housing provision. For Build to Rent schemes affordable housing for rent is expected to be the normal form of affordable housing provision (and, in this context, is known as Affordable Private Rent).
 - c) **Discounted market sales housing:** is that sold at a discount of at least 20% below local market value. Eligibility is determined with regard to local incomes and local house prices. Provisions should be in place to ensure housing remains at a discount for future eligible households.
 - d) **Other affordable routes to home ownership:** is housing provided for sale that provides a route to ownership for those who could not achieve home ownership through the market. It includes shared ownership, relevant equity loans, other low-cost homes for sale (at a price equivalent to at least 20% below local market value) and rent to buy (which includes a period of intermediate rent). Where public grant funding is provided, there should be provisions for the homes to remain at an affordable price for future eligible households, or for any receipts to be recycled for alternative affordable housing provision or refunded to Government or the relevant authority specified in the funding agreement.
- **Ancient or veteran tree/tree of arboricultural value:** A tree which, because of its age, size and condition, is of exceptional biodiversity, cultural or heritage value. All ancient trees are veteran trees. Not all veteran trees are old enough to be ancient but are old relative to other trees of the same species. Very few trees of any species reach the ancient life-stage.
- **Archaeological interest:** There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
- **Blue infrastructure:** Blue infrastructure refers to water elements, like rivers, canals, ponds, wetlands, floodplains, water treatment facilities, etc. Green infrastructure refers to trees, lawns, hedgerows, parks, fields, forests, etc. These terms come from urban planning and land-use planning.
- **Change of Use:** A change in the way that land or buildings are used (see Use Classes Order). Planning permission is usually necessary to change a "use class".
- **Community Infrastructure Levy (CIL):** a fixed, non-negotiable contribution that must be made by new development. It is chargeable on each net additional square metre of development built and is set by the SDNPA.
- **Conservation area:** an area of notable environmental or historical interest or importance which is protected by law against undesirable changes.

- **Designated heritage asset:** A World Heritage Site, Scheduled Monument, Listed Building, Protected Wreck Site, Registered Park and Garden, Registered Battlefield or conservation area designated under the relevant legislation
- **Disability:** There is no single definition for 'disability'. Under the Equality Act 2010, a person is defined as disabled if they have a physical or mental impairment that has a 'substantial' and 'long-term' negative effect on their ability to do normal daily activities.
- **East Sussex County Council:** The county-wide authority has responsibility for strategic matters including maintaining the public rights of way network, education, libraries and roads.
- **Essential local workers/ key worker:** A Key Worker is a person who is employed in one of the essential services (as defined below) and who are on low to medium income, Essential Services are defined as employment in one of the following sectors: Health and Social Care (e.g., NHS, care workers); Education (e.g., teachers, teaching assistants, nursery workers); Local Authority (e.g., planners, environmental health, librarians); Emergency Services (e.g., police, fire, ambulance, coastguard); Armed Forces; Other Public Services (e.g., Environment Agency, probation service); Transport Network (e.g., bus drivers); Food Retail; Agriculture; Other employment that is essential to the wellbeing of the local community, as agreed by the Parish Council.
- **European (protected) site:** This refers to what were previously known as 'Natura' sites. They are Special Protection Areas (SPAs) and Special Areas of Conservation (SACs), which protect species and habitats shared across Europe and which were originally designated under European legislation.
- **Green infrastructure:** A network of multi-functional green space, urban and rural, which is capable of delivering a wide range of environmental and quality of life benefits for local communities.
- **Habitats Regulations Assessment (HRA):** A Habitats Regulations Assessment (HRA) is a process that determines whether or not development plans could negatively impact local plans on a recognised protected European site beyond reasonable scientific doubt.
- **Heritage asset:** A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).
- **Historic Environment Record (HER):** HERs contain details on local archaeological sites and finds, historic buildings and historic landscapes and are regularly updated. This information is usually held in a database with a digital mapping system (Geographic Information System). There are over 80 across the country, including one for Sussex. The Sussex one is maintained by East Sussex County Council in partnership with Historic England.
- **Housing Needs Assessment (HNA):** A Housing Needs Assessment (HNA) is an assessment of housing needs at the Neighbourhood Area level.
- **Local connection:** For the purposes of allocating affordable homes, housing shall be occupied in accordance with the standard allocation procedures with priority given to applicants who can demonstrate that they have a local connection to the parish of East Dean and Friston at the time of occupation.
- **Local housing need:** The number of homes identified as being needed through the application of the standard method set out in national planning guidance.
- **Local Plan:** Local Plans set out a vision and a framework for the future development of the area, addressing needs and opportunities in relation to housing, the economy, community facilities and infrastructure – as well as a basis for safeguarding the environment, adapting to climate change and securing good design for the area they cover. They are a critical tool in guiding decisions about individual development proposals, as Local Plans (together with any Neighbourhood Development Plans that have been made) are the starting-point for considering whether applications can be approved. It is important for all areas to put an up-to-date Local Plan in place to positively guide development decisions.

- **Local Wildlife Site:** Areas of land with 'substantive nature conservation value'. They are identified and selected at a county level, based on important, distinctive and threatened habitats and species that have a national, regional and importantly, a local context.
- **Major Development:** The National Planning Policy Framework defines major development as: 10 or more homes, or a site area of 0.5ha or more (for residential); additional floorspace of 1000sqm or a site area of 1ha or more (for non-residential); or as otherwise provided in the Town and Country Planning (Development Management Procedure) (England) Order 2015. In addition to the above, the SDNPA has sought legal opinions on what constitutes "major development" for the purposes of Paragraph 190 of the NPPF (2024). These opinions are that the definition as per Paragraph 190 is based on whether, prima facie, the development might potentially have adverse impacts on a National Park, rather than whether, after a careful and close assessment, it will have such adverse impacts.
- **National Planning Policy Framework (NPPF):** the national planning policy document which sets out the Government's planning policies for England and how these are expected to be applied.
- **Nature Recovery Network:** An expanding, increasingly connected, network of wildlife-rich habitats supporting species recovery, alongside wider benefits such as carbon capture, water quality improvements, natural flood risk management and recreation. It includes the existing network of protected sites and other wildlife rich habitats as well as and landscape or catchment scale recovery areas where there is coordinated action for species and habitats.
- **Non-designated heritage asset (NDHA):** buildings, monuments, sites, places, areas or landscapes identified as having a degree of significance meriting consideration in planning decisions because of their heritage interest but which do not meet the criteria for designated heritage assets (as defined in the NPPF).
- **Non-strategic policies:** Policies contained in a neighbourhood plan, or those policies in a local plan that are not strategic policies.
- **Older people:** People over or approaching retirement age, including the active, newly-retired through to the very frail elderly; and whose housing needs can encompass accessible, adaptable general needs housing through to the full range of retirement and specialised housing for those with support or care needs.
- **Permitted development:** Permitted development rights are an automatic grant of planning permission which allow certain building works and changes of use to be carried out without having to make a planning application. Most houses have permitted development rights, but flats and maisonettes do not, so planning permission is required. A further example is the conversion of offices, for instance to flats, without the need for planning permission.
- **Previously developed land/ brownfield land:** Land which is or was occupied by a permanent structure, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed) and any associated fixed surface infrastructure.
- **Roadside verge of ecological importance (RVEI):** A strip of land alongside a road that is managed to provide a habitat for plants, insects, and other wildlife. These areas are designated because they support a notable species or a species-rich habitat, acting as crucial wildlife corridors that connect other habitats. They are essential for biodiversity, providing food, shelter, and a breeding ground for many species.
- **Section 106 agreement:** A mechanism under Section 106 of the Town and Country Planning Act 1990 which makes a development proposal acceptable in planning terms that would not otherwise be acceptable.
- **Settlement boundary:** This identifies the areas of primarily built form, rather than countryside. They identify areas within which development of brownfield land may normally be appropriate, including infilling, redevelopment and conversions in accordance with Government Policy and Guidance (NPPF and NPPG). It does not include a presumption for the development of greenfield land such as playing fields and other open space. Identified settlement boundaries do not necessarily include all existing developed areas. The EDFNP shows the current, adopted Settlement Boundary but this may be subject to amendment in the Local Plan Review.

- **South Downs National Park (SDNP):** The South Downs was designated as a National Park on 31 March 2010 for its natural scenic beauty, wildlife and cultural heritage. The SDNP covers an area of 1,627 square kilometres.
- **South Downs National Park Authority (SDNPA):** The Local, Minerals and Waste Planning Authority for the whole of the South Downs National Park (SDNP).
- **Strategic Environmental Assessment (SEA):** A systematic decision support process aiming to ensure that environmental and possibly other sustainability aspects are considered effectively in policy, plan, and program making.
- **Supplementary Planning Documents (SPD):** Supplementary Planning Documents may cover a range of issues, both topic and site specific, which may expand policy or provide further detail to policies contained in a Development Plan Document, where they can help applicants make successful applications or aid infrastructure delivery.
- **Use Classes Order:** The Town and Country Planning (Use Classes) Order 1987 (As amended in 1995, 2005 and 2013) puts uses of land and buildings into various categories. Planning permission is not needed for changes of use within the same use class.
- **Wheeling:** A term used to encapsulate those using mobility aids, wheelchairs, mobility scooters or with pushchairs etc. to get around.

15. LIST OF EVIDENCE DOCUMENTS

All links correct at February 2025. Evidence documents relating to the engagement activities that took place are also available on the [Parish Council website](#).

Document/ Evidence	Author	Year
Archaeological Notification Area Map	East Sussex County Council	ongoing
Biodiversity metric	Defra	2021
Biodiversity Profile for East Dean Parish	Jonathan Timberlake	2025
Building for a Healthy Life	Homes England	2020
Building with Nature	Building with Nature	ongoing
Carbon Footprint Report: East Dean and Friston Civil Parish (requires registration to view)	Centre for Sustainable Energy	2024
Census	Office for National Statistics	2011, updated 2021
CIL and S106 Charging Schedule	South Downs National Park Authority	2017
Climate Change Act	HM Government	2008
Dementia and town planning: Creating better environments for people living with dementia	Royal Town Planning Institute	2020
Distinctively Local	HTA Design, Pollard Thomas Edwards, PRP, and Proctor & Matthews	2019
East Dean and Friston Parish Design Guidance and Codes	AECOM	April 2024
East Dean and Friston Housing Needs Assessment	AECOM	April 2024
East Dean Conservation Area Appraisal	South Downs National Park Authority	2015
East Sussex Bus Service Improvement Plan (BSIP)	East Sussex County Council	2021
East Sussex Dementia Needs Assessment	East Sussex	2016
East Sussex Local Cycling and Walking Infrastructure Plan (LCWIP)	East Sussex County Council	2020
East Sussex Local Transport Plan 4	East Sussex County Council	Draft 2024
Environment Act 2021	HM Government	2021
Future Homes Standard (consultation and response)	HM Government	2019
Housing our Ageing Population Panel for Innovation (HAPPI)	Housing LIN	2012
Heritage at Risk Register	Historic England	ongoing
Historic Environment Record (accessed via the Heritage Gateway)	Historic England	ongoing
Local Heritage Listing: Identifying and Conserving Local Heritage Historic England Advice Note 7 (2 nd Edition)	Historic England	2021
Localism Act 2011	HM Government	2011
National Design Guide	HM Government	2019
National Planning Policy Framework (updated February 2025)	HM Government	As amended Feb 2025
National Planning Practice Guidance	HM Government	Last updated 2021

Document/ Evidence	Author	Year
Nature Recovery and Climate: Action in the Parish of East Dean and Friston (no link)	Wild Business/Climate Friends	2024
Neighbourhood Planning (General) Regulations 2012 (as amended)	HM Government	2012
Planning and Compulsory Purchase Act 2004	HM Government	2004
Pond Survey	East Dean and Friston Residents Association	2024
Protected Trees and Tree Preservation Orders	Wealden District Council	Ongoing
Retrofit and Energy Efficiency in Historic Buildings	Historic England	Updated 2024
Roads in the South Downs	Hamilton-Baillie Associates Ltd	2015
Seaford to Eastbourne Nature Recovery Project	Environment Agency	2023
Secured by Design – suite of guidance	UK Police Service	2005-2019
The 20-minute neighbourhood	Town and Country Planning Association	ongoing
South Downs Design Guide Supplementary Planning Document	South Downs National Park Authority	2022
South Downs Landscape Character Assessment (LCA)	South Downs National Park Authority	2020
The South Downs Local Plan	South Downs National Park Authority	2019
South Downs Local Development Scheme	South Downs National Park Authority	Dec 2022
South Downs Local Plan Review	South Downs National Park Authority	2022 (ongoing)
South Downs National Park Supplementary Planning Documents and Technical Advice Notes	South Downs National Park Authority	ongoing
South Downs Tourism Strategy	South Downs National Park Authority	2015
Sussex Heritage Coast Strategy and Action Plan 2016-2020	South Downs National Park Authority	2016
Sussex Heritage Coast: Archaeology on the Edge Phase 1 Report	Oxford Archaeology	2019
Sussex Historic Landscape Characterisation	Historic England	2014
Town and Country Planning Act 1990	HM Government	1990

APPENDIX A - DESIGNATED AND NON-DESIGNATED HERITAGE ASSETS

- A1 Nationally significant buildings, monuments and archaeological sites are selected and designated by Historic England, the government agency responsible for protecting our heritage. Once listed, all these will have statutory protection in the planning process.
- A2 The Listed Buildings and Scheduled Monuments found within the parish are shown in *Table 4*. These conform to national criteria laid out by Historic England. Unsurprisingly, most lie within the East Dean Conservation Area, with others in particular at Friston Place, Crowlink and Birling Manor. There are three Grade I listed buildings in the parish – the two churches and Friston Place – but only three Scheduled Monuments.
- A3 However, each parish has a number of buildings, monuments or sites with cultural or historical associations that help define the local character and history of the area. They are special to the community but do not reach the level of importance to be formally listed nationally by Historic England. Once selected, these are termed Non-Designated Heritage Assets (NDHA). Existing Listed Buildings were here excluded from this category.
- A4 Historic England states that “non-designated heritage assets are locally identified buildings, monuments, sites, places, areas or landscapes identified by planning bodies as having a degree of heritage significance meriting consideration in planning decisions but which do not meet the criteria for designated heritage assets.” These buildings, structures or sites could be of archaeological interest, architectural or artistic interest, or of historic interest.
- A5 These assets are selected according to locally developed criteria. This neighbourhood plan used criteria outlined by the South Downs National Park Authority ([A Local Heritage List for the South Downs National Park Authority: Criteria for Selection \(undated\)](#)).
- A6 A working group of the Neighbourhood Plan Steering Group went through a long list of over 150 buildings, monuments and sites, and tried to strike a balance between different types, ages and locations. No assets selected were younger than 1950, except in specific circumstances. Buildings and structures from World War Two are included, but not those after that period. The selection is based in part of lists prepared some years ago by local historians, members of the East Dean and Friston Local History Group; many of these are described further in booklets produced by the group.
- A7 One characteristic, common and widespread heritage asset in the parish is the network of older free-standing flint walls that demarcate field and property boundaries. All free-standing flint boundary walls still standing were mapped for the neighbourhood plan, although walls of buildings and recently constructed ones were excluded. No attempt was made to determine age, condition or state of repair. The total extent across the parish is just over 12 kilometres and is shown in *Figures 4 and 5*. Mostly comprising field boundaries on the Gilbert Estate and around Birling Manor, significant stretches are also found around Friston Place and at Crowlink. Given their wide extent and diversity of ownership, these walls are not formally listed here as an NDHA. However, they are a very important part of our local heritage, some having been initially built by Mary Ann Gilbert in the mid- 1800s in order to employ local farm workers, whilst others were originally built using prisoners during the Napoleonic Wars.
- A8 Initially, 49 NDHAs were selected and owners of those in private ownership (27) were written to. These proposed buildings were not included in the initial draft plan until responses could be

received and a further one was added during the consultation process. It was decided that any proposed NDHAs where the owner objected to inclusion or where no response was received should be omitted. Therefore, the current list is not exhaustive; at a future date other buildings, monuments and sites may be identified as NDHAs.

Reasons for identifying NDHAs

- A9 The significance of NDHAs in their recognition as structures and assets that form an important part of our local history and heritage, and which contribute to shaping the character of the area.
- A10 Through a consultation process, the identification of heritage assets helps our community to articulate what we regard as being locally important and significant. It helps us define what we see as the character of our area.
- A11 Basic inventory and documentation of the parish's historical assets is useful in that their importance, relevance and attributes are registered and not inadvertently lost. Such a list can be updated at regular intervals, both through additions and deletions, and can be an important tool in helping the Parish Council and the SDNPA make decisions.

Criteria Used for Selection

- A12 Following the SDNPA document, there are four upper-level categories followed by five specific groupings. It is the groupings that are mentioned in each entry in Appendix B below.

Categories

- 1. Evidential Value – “the potential of a place to yield evidence about past human activity”, e.g. archaeological sites.
- 2. Historical Value – connections to past, whether through people, events or aspects of life. Includes homes of famous people.
- 3. Aesthetic Value – e.g. architectural, gates, gardens.
- 4. Communal Value – meaning or value of a place or building to the community, e.g. war memorial, utilities/street furniture.

Groupings

- A. Buildings and sites which display architectural, design, artistic interest, e.g. gravestones, memorials, public art, built landscape, work of a particular famed architect, special designed garden.
- B. Good surviving examples of vernacular buildings, e.g. flint walls, barns.
- C. Buildings and sites with particular historic interest, e.g. with links to the past, local remains of historical events.
- D. Buildings which have a wider group value in the landscape, e.g. Crowlink hamlet. This is at a lower level than a Conservation Area.
- E. Buildings and sites with communal value, such as local landmarks, sites of particular significance, street furniture/ Peers of the Realm.

Table 4: Listed buildings and scheduled monuments

no.	Listed Building Name Website	Grade	Date listed
FRISTON PLACE			
1353300	Barn to North West of Friston Place https://historicengland.org.uk/listing/the-list/list-entry/1353300	II	12/08/1981
1043261	Garden Walls and Gate Piers to North West of Friston Place https://historicengland.org.uk/listing/the-list/list-entry/1043261	II	12/08/1981
1286068	Cottages to North of Friston Place https://historicengland.org.uk/listing/the-list/list-entry/1286068	II*	30/08/1966
1353299	Friston Place https://historicengland.org.uk/listing/the-list/list-entry/1353299	I	13/10/1952
1193661	Wellhouse to South East of Friston Place https://historicengland.org.uk/listing/the-list/list-entry/1193661	II	13/10/1952
FRISTON			
1043259	Parish Church of Saint Mary the Virgin, Friston https://historicengland.org.uk/listing/the-list/list-entry/1043259	I	30/08/1966
DOWNLANDS ESTATE			
1353308	Manor Cottage Summerdown Cottage, Elven Lane https://historicengland.org.uk/listing/the-list/list-entry/1353308	II	12/08/1981
GAYLES FARM			
no entries			
CROWLINK			
1353298	The Granary https://historicengland.org.uk/listing/the-list/list-entry/1353298	II	12/08/1981
1286087	Crowlink House https://historicengland.org.uk/listing/the-list/list-entry/1286087	II	13/10/1952

1043260	Crowlink Cottages and Crowlink End, 1, 2 & 3 https://historicengland.org.uk/listing/the-list/list-entry/1043260	II	12/08/1981
1438452	Robertson War Memorial Bequest Obelisk at Michel Dene, Crowlink II https://historicengland.org.uk/listing/the-list/list-entry/1438452		12/10/2016
EAST DEAN CONSERVATION AREA			
1193294	Little Lane Cottage, Upper Street, East Dean https://historicengland.org.uk/listing/the-list/list-entry/1193294	II	30/08/1966
1043282	1, 2 & 4 Upper Street, East Dean https://historicengland.org.uk/listing/the-list/list-entry/1043282	II	12/08/1981
1193279	Derby Cottage and 2, 3 & 4 The Derbies, East Dean https://historicengland.org.uk/listing/the-list/list-entry/1193279	II	12/08/1981
1353310	Glebe Cottage and house attached to Weller's Stores, Upper Street https://historicengland.org.uk/listing/the-list/list-entry/1353310	II	12/08/1981
1043283	The Old Bakehouse, Went Way https://historicengland.org.uk/listing/the-list/list-entry/1043283	II	30/08/1966
1193307	Stables to North East of The Dipperays, Upper Street https://historicengland.org.uk/listing/the-list/list-entry/1193307	II	12/08/1981
1353311	The Dipperays and Gazebo, Upper Street https://historicengland.org.uk/listing/the-list/list-entry/1353311	II*	13/10/1952
1043280	1, 2, 3 and The Tiger Inn, The Green, East Dean https://historicengland.org.uk/listing/the-list/list-entry/1043280	II	30/08/1966
1243696	East Dean War Memorial https://historicengland.org.uk/listing/the-list/list-entry/1243696	II	10/02/1993
1286250	Stables and Barn to South East Edge of The Green https://historicengland.org.uk/listing/the-list/list-entry/1286250	II	12/08/1981
1043281	New House Farmhouse, Yard Cottage https://historicengland.org.uk/listing/the-list/list-entry/1043281	II	12/08/1981
1193275	Barn to South West of New House Farmhouse https://historicengland.org.uk/listing/the-list/list-entry/1193275	II	12/08/1981
1366117	Parish Church of St Simon and St Jude, Gilbert's Drive https://historicengland.org.uk/listing/the-list/list-entry/1366117	I	30/08/1966


1043279	The Cottage & The Croft, Lower Street https://historicengland.org.uk/listing/the-list/list-entry/1043279	II	12/08/1981
1353309	Gore Cottage, Went Hill Cottage https://historicengland.org.uk/listing/the-list/list-entry/1353309	II	12/08/1981
EAST DEAN -- REMAINDER			
1193144	The Old Parsonage, Eastbourne Road https://historicengland.org.uk/listing/the-list/list-entry/1193144	II	12/08/1981
1043284	Underhill House, Went Way https://historicengland.org.uk/listing/the-list/list-entry/1043284	II	12/08/1981
BIRLING MANOR			
1043278	Barn to North of Birling Manor https://historicengland.org.uk/listing/the-list/list-entry/1043278	II	12/08/1981
1353307	Three Barns to North West of Birling Manor https://historicengland.org.uk/listing/the-list/list-entry/1353307	II	30/08/1966
1043277	Summer-House to South-East of Birling Manor https://historicengland.org.uk/listing/the-list/list-entry/1043277	II	12/08/1981
1043276	Birling Manor https://historicengland.org.uk/listing/the-list/list-entry/1043276	II	13/10/1952
1286296	Outbuildings and Gate-Pier to South-West of Birling Manor https://historicengland.org.uk/listing/the-list/list-entry/1286296	II	12/08/1981
1193109	Bardolf's Hall, Birling Manor https://historicengland.org.uk/listing/the-list/list-entry/1193109	II	12/08/1981
BIRLING GAP			
no entries			

SCHEDULED MONUMENTS


no.	place/name	date listed	website
FRISTON			
1002237	Dewpond, Friston [Friston Pond]	29/05/1974	https://historicengland.org.uk/listing/the-list/list-entry/1002237
CROWLINK			
1016684	Pair of bowl barrows on Baily's Hill	07/04/1967	https://historicengland.org.uk/listing/the-list/list-entry/1016684
BIRLING GAP			
1002288	Camp near Belle Tout lighthouse, Birling Gap	15/05/1946	https://historicengland.org.uk/listing/the-list/list-entry/1002288

Non-designated heritage assets

Non-Designated Heritage Asset Template: FRISTON PLACE

Building Name/ Structure	1. Friston pumping station
Property Address/location	Friston Place, Friston Forest
Local Heritage Asset Type	Building
Age of Property/Structure	90 years
Is the property occupied?	Yes
Ownership details	South East Water
Significance	A: Buildings and sites which display architectural, design, artistic interest C: Buildings and sites which have historic interest
Description	Large building built in 1932 as a main pumping station from boreholes into the chalk aquifer below. The building was designed in the industrial architecture style of the time. The site has housed an Eastbourne Water Company pump station since the 1880s, and originally used a steam engine. The foundations of the original pump station are still visible. See History Group booklet #46.
Photograph	


Non-Designated Heritage Asset Template: OLD WILLINGDON ROAD

Building Name/Structure	2. Friston Down
Property Address/location	Friston Down, Old Willingdon Road, Friston
Local Heritage Asset Type	House
Age of Property/Structure	90 years
Is the property occupied?	Yes
Ownership details	Privately owned
Significance	A: Buildings and sites which display architectural, design and/or artistic interest
Description	Large house with styled oak timber-framing designed by eminent architect Alwyn Underdown. The present house was built in 1937/8 for Harold Mitchell, President of ICI, as part of the development of the Downlands Estate. A comprehensive history of the house has been written by the current occupant. The open frontage with large fir trees has an extensive view over the Downs, which adds to its character. The house is readily seen from the road, a significant access point onto the Downs.
Photograph	


Non-Designated Heritage Asset Template: OLD WILLINGDON ROAD

Building Name/Structure	3. Friston Field
Property Address/location	Friston Field, Old Willingdon Road, Friston
Local Heritage Asset Type	House
Age of Property/Structure	100 years
Is the property occupied?	Yes
Ownership details	Privately owned
Significance	C: Buildings and sites which have historic interest
Description	Residential house built in 1923, possibly the first house to be built on the new Downlands Estate. It was initially built for and lived in by the composer Frank Bridge and his wife until his death in 1941. His friend, the famous composer Benjamin Britten, also visited frequently. See History Group booklet #28.
Photograph	


Non-Designated Heritage Asset Template: OLD WILLINGDON ROAD

Building Name/Structure	4. Friston water tower
Property Address/location	Old Willingdon Road, Friston
Local Heritage Asset Type	Utility monument
Age of Property/Structure	90 years (1928)
Is the property occupied?	No
Ownership details	South East Water
Significance	C: Buildings and sites which have historic interest E: Buildings which have a wider group value in the town or village-scape
Description	Concrete water tower built in 1928 by the Eastbourne Water Company to store water pumped from Friston Pump Station, in particular for the then-new Downlands Estate. It forms part of the Friston skyline and is a local landmark. It has not been used for water storage for many years and is now showing signs of decay; it is currently used to support mobile phone aerals. The grounds and road verge are maintained in a wildlife-friendly way by South East Water. See History Group booklets #46 and 28.
Photograph	

Non-Designated Heritage Asset Template: FRISTON

Building Name/ Structure	5. Post box, Jevington Road
Property Address/location	Jevington Road, by Friston Green
Local Heritage Asset Type	Street furniture
Age of Property/Structure	Around 100 years (between 1910 and 1936)
Is the property occupied?	No
Ownership details	Royal Mail
Significance	C: Buildings and sites which have historic interest E: Buildings and sites with communal value
Description	A George V wall-mounted post-box; the cipher was in use between 1910 and 1936. Post-boxes of such age are now scarce. The post box is now painted black and not in use.
Photograph	


Non-Designated Heritage Asset Template: FRISTON

Building Name/ Structure	6. Tapsell gate, Friston Church
Property Address/location	Friston Church, Friston
Local Heritage Asset Type	Church
Age of Property/Structure	Dates back 200+ years, but restored since.
Is the property occupied?	No
Ownership details	Benefice of East Dean, Friston and Jevington
Significance	A: Buildings and sites which display architectural, design and/or artistic interest C: Buildings and sites which have historic interest
Description	A central-pivot swinging Tapsell gate situated in a traditional Sussex flint wall at the entrance to Friston Church, one of only six in Sussex. It has been restored in recent years. It is not clear if the gate is covered by the Grade I listing for Friston Church itself.
Photograph	


Non-Designated Heritage Asset Template: DOWNLANDS ESTATE

Building Name/Structure	7. Ridge House
Property Address/location	Ridge House, 9 Windmill Lane, Friston
Local Heritage Asset Type	House
Age of Property/Structure	Built in 1920s; 100 years old
Is the property occupied?	Yes
Ownership details	Privately owned
Significance	A: Buildings and sites which display architectural, design and/or artistic interest C: Buildings and sites which have historic interest
Description	A notable example of a house built in the 1920s in the Sussex Arts and Crafts style by Alwyn Underdown, a well-known local architect, for Bill Arnatt, Chairman of the first Downland Estate Company. It retains its original interiors with beams and large inglenook fireplaces. During World War II it was requisitioned as the medical centre for operations at RAF Friston.
Photograph	


Non-Designated Heritage Asset Template: DOWNLANDS ESTATE

Building Name/Structure	8. Post box, Deneside
Property Address/location	Next to #1 Deneside, the BT telephone exchange, East Dean
Local Heritage Asset Type	Street furniture
Age of Property/Structure	90 years, between 1910 and 1936
Is the property occupied?	No
Ownership details	Royal Mail
Significance	C: Buildings and sites which have historic interest E: Buildings and sites with communal value
Description	A wall-mounted, red post box with George V cipher, probably one of the first to be installed on the Downlands Estate. It is still in use.
Photograph	


Non-Designated Heritage Asset Template: DOWNLANDS ESTATE

Building Name/Structure	9. Flint wall, Dene Close
Property Address/location	11 Micheldene, East Dean
Local Heritage Asset Type	Historical artefact
Age of Property/Structure	150 years, but could be much older
Is the property occupied?	No
Ownership details	Privately owned
Significance	B: Good surviving examples of vernacular buildings which contribute to local distinctiveness C: Buildings and sites which have historic interest
Description	One of the original flint walls of Gore Farm, many of which have been destroyed or modified. It formed part of the original Summer Down cottages (#11 and 13 Micheldene), now on the Downlands Estate. A part, shown in photo on right, is possibly an old outhouse.
Photograph	

Non-Designated Heritage Asset Template: DOWNLANDS ESTATE

Building Name/Structure	10. Post box, Downs View Lane
Property Address/location	Halfway along Downs View Lane, next to house #2.
Local Heritage Asset Type	Street furniture
Age of Property/Structure	c.90 years (between 1936 and 1952)
Is the property occupied?	No
Ownership details	Royal Mail
Significance	E: Buildings and sites with communal value
Description	A post-mounted, red post box with a George VI cipher. Post box still in use.
Photograph	


Non-Designated Heritage Asset Template: GAYLES FARM

Building Name/Structure	11. World War Two pill boxes
Property Address/location	Little Gayles, Gayles farm
Local Heritage Asset Type	Military artefact
Age of Property/	80 years
Is the property occupied?	No
Ownership details	Privately owned
Significance	C: Buildings and sites which have historic interest
Description	Two brick-built and concrete-topped pill boxes dating from World War II. These were associated with defenses for the nearby RAF Friston airfield. Both are in a good state of preservation; the only ones remaining in the parish, although there are some by Cuckmere Haven.
Photograph	


Non-Designated Heritage Asset Template: GAYLES FARM

Building Name/Structure	12. Air raid shelter
Property Address/location	Little Gayles Cottage, The Gayles
Local Heritage Asset Type	Military artefact
Age of Property/Structure	80 years
Is the property occupied?	No, but used.
Ownership details	Privately owned
Significance	C: Buildings and sites which have historic interest
Description	One of two long, double-ended, concrete-constructed air raid shelters built during World War Two, linked to the adjacent RAF Friston airfield. It is now used for storage and is in a good state of preservation.
Photograph	no photo available


Non-Designated Heritage Asset Template: CROWLINK

Building Name/Structure	13. World War Two field hospital
Property Address/location	400 m north-west of Crowlink hamlet, Crowlink Valley
Local Heritage Asset Type	Military artefact
Age of Property/Structure	80 years
Is the property occupied?	No
Ownership details	Land owned by South East Water and leased to a private farmer
Significance	C: Buildings and sites which have historic interest
Description	Field hospital used during Second World War by the nearby RAF Friston airfield. It is built of concrete slabs with iron roof beams, which are now rusting. There is still a cast-iron Dover stove inside. In recent years it has been used as a sheep shed. Unique in the area.
Photograph	


Non-Designated Heritage Asset Template: CROWLINK

Building Name/Structure	14. Crowlink dewpond
Property Address/location	Crowlink Valley, 650 m south-west of Crowlink Hamlet
Local Heritage Asset Type	Monument
Age of Property/Structure	Possibly 200-300 years, but since restored and now cement-lined.
Is the property occupied?	No
Ownership details	National Trust
Significance	C: Buildings and sites which have historic interest E: Buildings and sites with communal value
Description	A perennial dewpond that appears on Ordnance Survey maps from the 1890s but is probably much older. It is now concrete-lined, presumably from a more recent renovation. The pond is currently not used for livestock and is fenced off as it contains interesting aquatic biodiversity such as newts and aquatic plants, and is also a breeding site for dragonflies.
Photograph	


Non-Designated Heritage Asset Template: CROWLINK

Building Name/Structure	15. Crowlink Coastguard Cottages [ruins]
Property Address/location	Near edge of cliffs at the end of Crowlink valley, around 1 km south-west of Crowlink hamlet.
Local Heritage Asset Type	Archaeological site
Age of Property/Structure	230 years
Is the property occupied?	No; foundations only
Ownership details	National Trust
Significance	C: Buildings and sites which have historic interest
Description	The remaining foundations of old coastguard cottages dating from the late 1700s, with no walls now visible. Still visible is an outline of the kitchen gardens used by inhabitants. The last walls were destroyed during World War Two. Limited archaeological excavation was done by the National Trust in 2010s. See History Group booklet #28.
Photograph	


Non-Designated Heritage Asset Template: CROWLINK

Building Name/Structure	16. Sarsen stone, Flagstaff Point
Property Address/location	Flagstaff Brow at edge of cliffs, c.1 km south-south-west from Crowlink Hamlet
Local Heritage Asset Type	Monument
Age of Property/Structure	100 years
Is the property occupied?	No
Ownership details	National Trust
Significance	C: Buildings and sites which have historic interest E: Buildings and sites with communal value
Description	Monument to William Campbell, a benefactor in the purchase of this part of South Downs in 1926 as protection against uncontrolled post-First World War housing development. It consists of a non-local Sarsen stone (silicified sandstone) cemented into a monument with a surrounding wooden bench. It is an important local landmark and resting place for walkers.
Photograph	




Non-Designated Heritage Asset Template: MICHEL DENE

Building Name/Structure	17. Mary Gilbert memorial stone
Property Address/location	Michel Dene
Local Heritage Asset Type	Monument
Age of Property/Structure	180 years
Is the property occupied?	No
Ownership details	National Trust
Significance	C: Buildings and sites which have historic interest
Description	A small rectangular memorial stone, about 40 cm high, on what was probably an old field boundary or track, inscribed "M.G 1844". It presumably commemorates Mary Ann Gilbert (died 1845) and her construction of the farmworker's cottages on Michel Dene in the 1840s. The stone appears to be part of a Sarsen stone (silicified sandstone) including fragments of mollusc shell.
Photograph	

Non-Designated Heritage Asset Template: MICHEL DENE

Building Name/Structure	18. Gallops Cottage
Property Address/location	Michel Dene
Local Heritage Asset Type	Agricultural building
Age of Property/Structure	180 years (but renovated)
Is the property occupied?	No (storage only)
Ownership details	National Trust
Significance	B: Good surviving examples of vernacular buildings C: Buildings and sites which have historic interest
Description	An old farm worker's cottage at top end of Michel Dene, 700 m south-west of East Dean church. It was originally built by Mary Gilbert for retired Gilbert Estate agricultural workers in the 1840s, and is currently used for storage by the National Trust and is in a moderate state of repair. It is the only remaining intact cottage of the three originally built. The remains of an old pigsty with a cistern are situated 120 m to south-west (photo); there is another cistern associated with the third cottage (now destroyed) about 440 m further to the south-west. Openings to both these cisterns are still visible, but the cisterns themselves are now infilled. The cistern design was first used on Gilbert estate properties in Cornwall. See History Group booklet #56.
Photograph	


Non-Designated Heritage Asset Template: MICHEL DENE

Building Name/Structure	19. Red Barn
Property Address/location	Michel Dene
Local Heritage Asset Type	Agricultural Building
Age of Property/Structure	180 years, originally dating from early 1840s but with probable restorations since
Is the property occupied?	No (but used for storage)
Ownership details	National Trust
Significance	B: Good surviving examples of vernacular buildings C: Buildings and sites which have historic interest E: Buildings and sites with communal value
Description	Old-style stone barn on east side of Michel Dene, 800 m south-south-west of East Dean church. It was originally built by Mary Gilbert to house estate workers in the early 1840s when there was a lot of disease in the village. It has a distinctive (faded) red corrugated iron roof and is a local landmark. Currently used for storage by the National Trust, it was used in the recent past for sheltering livestock, but is in relatively good state of repair. There is an adjacent underground cistern that was used to store captured rainwater. This was still intact below in 1987 but is now capped with a cast-iron manhole cover (photo). It is an important local landmark.
Photograph	  


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	20. Bowling Green
Property Address/location	Little Lane, Upper Street, East Dean, BN20 0BX
Local Heritage Asset Type	Open Space
Age of Property/Structure	90 years
Is the property occupied?	No, but used for recreation.
Ownership details	Gilbert Estate
Significance	C: Buildings and sites which have historic interest E: Buildings and sites which have a communal value
Description	An enclosed area of around 0.1 ha that has been used since 1936 by the East Dean Bowling Club, who also constructed the green and the club house with much support from public subscription. It is an important village community amenity. The history of the club and green is recorded in booklets from the East Dean & Friston Local History Group (#32, 56).
Photograph	


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	21. Old Forge Cottage
Property Address/location	On A259 at base of Friston Hill, opposite Upper Street, East Dean village.
Local Heritage Asset Type	House
Age of Property/Structure	400-500 years. A building here was first recorded in 1559
Is the property occupied?	Yes
Ownership details	Privately owned
Significance	A: Buildings and sites which display architectural, design and/or artistic interest B: Good surviving examples of vernacular buildings which contribute to local distinctiveness C: Buildings and sites which have historic interest
Description	There was a house and forge recorded at this site from 1635. It was used as a village forge until the 1960s, when it was renovated and various artefacts from shipwrecked boats were found forming the roof rafters. The last village blacksmith, Luther Hills, lived here until the late 1960s. The cottage is cut into the chalk hillside and still has many of its original features. There was an C18th cellar underneath that was used as a non-conformist meeting room at one time, and was possibly also used by smugglers. Originally a Listed Building (Grade IIa) it was apparently delisted when structural alterations were made. See History Group booklets #4 & 19.
Photograph	


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	22. Stone style and pinch gate, Horsefield
Property Address/location	Between The Dipperarys and the Old Village Hall, East Dean
Local Heritage Asset Type	Street furniture
Age of Property/Structure	Over 100 years
Is the property occupied?	No
Ownership details	Uncertain
Significance	B: Good surviving examples of vernacular buildings C: Buildings and sites which have historic interest E: Buildings and sites with communal value
Description	Large old stone steps or style over a low wall on the public footpath (twitten) along the eastern edge of the Horsefield behind The Dipperarys, along with an unusual, narrow pinch gate nearby (now restored). The pinch gate was put in as sheep could still climb out over the steps.
Photograph	 <p>The photograph section contains two side-by-side images. The left image shows a set of stone steps leading up from a path, bordered by a low stone wall on the left and a wooden post-and-rail fence on the right. The right image shows a narrow, rustic wooden pinch gate set into a low stone wall, with a path leading through it into a grassy area.</p>


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	23. East Dean village pond
Property Address/location	Horsefield, corner of Gilberts Drive and A259
Local Heritage Asset Type	Pond
Age of Property/Structure	older than 200 years
Is the property occupied?	No
Ownership details	Gilbert Estate
Significance	C: Buildings and sites which have historic interest E: Buildings and sites which have a communal value or significance
Description	Site of the old East Dean village pond in the Horsefield adjacent to the main road through the old village and opposite the original Gore Farm, of which it formed part. Gore Farm dates from Saxon times, so there may have been a pond here since then. Old photos exist of ducks on the pond in the middle of the last century. The tree-lined pond is currently drained and mostly dry, but was full – fed by runoff from main road – until the 1960s. It is hoped to restore it at some stage.
Photograph	


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	24. Telephone box, Gilberts Drive
Property Address/location	Corner of Gilberts Drive and A 259, East Dean
Local Heritage Asset Type	Street furniture
Age of Property/Structure	60 years; probably dates from 1960s
Is the property occupied?	No, but in use
Ownership details	British Telecom
Significance	E: Buildings and sites which have a communal value
Description	Red, cast-iron K6-style telephone box, designed by Giles Gilbert Scott. One of only two public telephones in the parish, it is still in use. Similar telephone boxes in nearby parishes have been listed.
Photograph	


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	25. Dog gravestone, Upper Street
Property Address/location	opposite 2 Upper Street, East Dean
Local Heritage Asset Type	Monument
Age of Property/Structure	110 years (dated 1909)
Is the property occupied?	No
Ownership details	Uncertain
Significance	C: Buildings and sites which have historic interest
Description	A small stone monument next to an old Sussex flint wall of the East Dean Village Green allotments. It is inscribed "SPOT, Jan 18 09", i.e. January 18 th 1909 and refers to a dog burial from the local Fuller family. See History Group booklet #19.
Photograph	


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	26. Allotments, East Dean Village Green
Property Address/location	Upper Street, East Dean
Local Heritage Asset Type	Open space
Age of Property/Structure	80 years
Is the property occupied?	Used as leased allotments
Ownership details	Gilbert Estate
Significance	C: Buildings and sites which have historic interest E: Buildings and sites which have a communal value
Description	A small area (600 m ²) of allotments between the East Dean Village Green (a protected Village Green) and Upper Street, enclosed within and including a traditional Sussex flint wall. The land belongs to the Gilbert Estate. It has been an open area for over 100 years, but the allotments were apparently only created in 1939 with the advent of World War Two.
Photograph	


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	27. Pendrills and pumphouse
Property Address/location	Pendrills, Upper Street, East Dean
Local Heritage Asset Type	House
Age of Property/Structure	200 years
Is the property occupied?	Yes
Ownership details	Gilbert Estate
Significance	A: Buildings and sites which display architectural, design and/or artistic interest B: Good surviving examples of vernacular buildings which contribute to local distinctiveness C: Buildings and sites which have historic interest E: Buildings and sites with communal value or significance
Description	A house bordering East Dean Village Green, now used as the Gilbert Estate offices. It was originally built by a Mr Pierce but named after the Pendrill family who harboured King Charles II after the Battle of Worcester. This family lived at Cophall House (now demolished) from 1750. The back of Pendrills was also used many years ago as part of the village laundry. Adjacent to it (bordering the allotments) is one of the original village pumphouses (photos b & c) that was linked to a well, and was thus an important local feature at that time. See History Group booklet #19.
Photograph	


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	28. Post box, East Dean Village Green
Property Address/location	Near corner of Went Way and Upper Street, by East Dean Village Green
Local Heritage Asset Type	Street furniture
Age of Property/Structure	Probably 70-80 years (1936-52)
Is the property occupied?	No
Ownership details	Royal Mail
Significance	E: Buildings and sites which have a communal value
Description	Red stand-alone cast-iron post box, with a George VI cipher, standing on the edge of the East Dean Village Green. It replaced an original wall-mounted post box on a nearby house in the 1980s. It is still in use and is the main post-box for the Conservation Area.
Photograph	


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	29. Old School House
Property Address/location	Went Way, East Dean
Local Heritage Asset Type	House
Age of Property/Structure	170 years
Is the property occupied?	Yes
Ownership details	Gilbert Estate
Significance	B: Good surviving examples of vernacular buildings which contribute to local distinctiveness C: Buildings and Sites which have Historic Interest E: Buildings and sites with communal value or significance
Description	A purpose-built flint schoolhouse that acted as the village school from 1851 until 1964. In 1939 (World War Two) schoolchildren evacuated from London went to school here until 1940 (see photo). Although the school is long closed, it is still remembered as an important part of the village by some residents. It is now used as private accommodation. See History Group booklet #19.
Photograph	 <p>The photograph section contains three images. The top left image is a wide shot of the Old School House, a two-story flint building with a tiled roof and a chimney, set against a blue sky. The top right image is a close-up of the flint wall and several windows with white frames. The bottom image is a close-up of a commemorative plaque mounted on a brick wall. The plaque is titled 'WORLD WAR II EVACUATION' and contains text about the school's role during the war.</p>


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	30. Tithe Barn, The Grange
Property Address/location	East Dean Grange, Lower Street, East Dean
Local Heritage Asset Type	Agricultural building
Age of Property/Structure	200 years
Is the property occupied?	No, but used for storage
Ownership details	Part of East Dean Grange care home
Significance	B: Good surviving examples of vernacular buildings which contribute to local distinctiveness C: Buildings and sites which have historic interest
Description	An old tithe barn probably dating from 18 th century. Surprisingly, it was not listed as Grade II when local listings were made, although it would appear to be of equal significance to the Grade IIa barn at New House Farm about 60 m away. It is now used mostly for storage, and is not in a good state of repair.
Photograph	

Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	31. Tapsell gate, East Dean church
Property Address/location	East Dean church, Upper Street entrance
Local Heritage Asset Type	Church
Age of Property/Structure	150 years or more
Is the property occupied?	No
Ownership details	Benefice of East Dean, Friston & Jevington
Significance	A: Buildings and sites which display architectural, design and/or artistic interest C: Buildings and sites which have historic interest
Description	Central-pivot swinging Tapsell gate, one of only six in Sussex, situated in a traditional Sussex flint wall at what is now the rear entrance to East Dean Church. The timbers have been restored in recent years. It is unclear if the gate is covered under the Grade I listing for the church itself.
Photograph	

Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	32. Outhouse, Gilberts Drive
Property Address/location	Rear garden of 2 Gilberts Drive, East Dean
Local Heritage Asset Type	Building
Age of Property/Structure	120 years
Is the property occupied?	No (used for storage)
Ownership details	Privately owned
Significance	B: Good surviving examples of vernacular buildings C: Buildings and sites which have historic interest
Description	An outside toilet, outhouse or 'privvy' in the rear garden of what were workers cottages along Gilberts Drive. It is associated with an old flint wall that may be the last remains of a building dating from the early C18 th . Apart from an old Gore Farm outhouse at 5 Wayside, it is the only surviving outhouse in the village - a remnant of earlier household arrangements. It is now used for garden storage.
Photograph	 A photograph of a small, rustic outhouse with a green door and a tiled roof, situated in a garden. The building is constructed from a mix of brick and flint. A large green bush is in the foreground, and a bird feeder is visible on the right. The background shows trees and a fence.


Non-Designated Heritage Asset Template: EAST DEAN

Building Name/Structure	33. Gilbert Institute and pumphouse
Property Address/location	Lower Street, East Dean
Local Heritage Asset Type	House
Age of Property/Structure	140 years (1884)
Is the property occupied?	Yes
Ownership details	Gilbert Estate
Significance	B: Good surviving examples of vernacular buildings which contribute to local distinctiveness C: Buildings and sites which have historic interest E: Buildings and sites with communal value or significance
Description	A flint-walled building in vernacular style, previously known as the Gilbert Institute. The Institute was originally built to house a working men's club, library and meeting rooms and was later used for Parish Council meetings and as a doctor's surgery. At one stage it was in effect a major focal point of the local area. It was named after Mary Gilbert, a local philanthropist, who lived at Birling Manor. It is currently used as three rented accommodation units. In the grounds is an old pumphouse (lower photos), one of three in the village originally used to draw water from wells and provide the village water supply. See History Group booklets #19, 47.


Photograph




Non-Designated Heritage Asset Template: BIRLING GAP

Building Name/Structure	34. Post box, Birling Manor
Property Address/location	Birling Manor, Birling Gap Road
Local Heritage Asset Type	Street furniture
Age of Property/Structure	c.120 years (1901 to 1910)
Is the property occupied?	No
Ownership details	Royal Mail
Significance	C: Buildings and sites which have historic interest
Description	Old-style wall-mounted red post box with a non-standard Edward VII cipher, the oldest post-box in the parish. It is embedded into the wall of a Listed Building, but doesn't form part of the listing. Although now not in use, it is in a very good state of preservation.
Photograph	


Non-Designated Heritage Asset Template: BIRLING GAP

Building Name/Structure	35. Telephone box, Birling Gap
Property Address/location	Birling Gap, adjacent to Coastguard Station
Local Heritage Asset Type	Street furniture
Age of Property/Structure	1950s, but possibly later replaced
Is the property occupied?	No, but still in use
Ownership details	British Telecom
Significance	C: Buildings and sites which have historic interest E: Buildings and sites with communal value
Description	K6-type red cast-iron telephone box, still in use with functioning telephone. The cipher is from Elizabeth II. It is kept functional as a public and emergency service. Most such boxes elsewhere have now been removed.
Photograph	

Non-Designated Heritage Asset Template: BIRLING GAP

Building Name/Structure	36. Post box, Birling Gap
Property Address/location	Birling Gap, adjacent to Coastguard Station
Local Heritage Asset Type	Street furniture
Age of Property/Structure	80 to 90 years (1910 to 1936)
Is the property occupied?	No
Ownership details	Royal Mail
Significance	C: Buildings and sites which have historic interest E: Buildings and sites with communal value
Description	Old-style wall-mounted red post box with a George V cipher, one of the older ones in the parish. It is still in use, although with signs of rust owing to its position close to the sea.
Photograph	 A photograph of a red, wall-mounted post box. The box is made of metal and shows signs of rust and wear. It is mounted on a dark stone wall. The box has a small rectangular slot at the top for mail. Below the slot, there is a small white label with some text and a QR code. The letters 'GR' are embossed on the lower part of the box. The background shows a grassy area and a path.

Non-Designated Heritage Asset Template: BIRLING GAP

Building Name/Structure	37. Coastguard Cottages, Birling Gap
Property Address/location	Coastguard Cottages, nos. 1-3, Birling Gap
Local Heritage Asset Type	House
Age of Property/Structure	140 years (1878)
Is the property occupied?	Yes
Ownership details	National Trust (three inland units)
Significance	C: Buildings and sites which have historic interest D: Buildings which have a wider group value in the landscape E: Buildings and sites with communal value
Description	A row of what were originally seven 2-storey terrace houses built for the coastguards at Birling Gap. An iconic part of this tourist 'hot-spot'. Owing to cliff erosion three of the houses at the seaward end have had to be demolished since 1972. For the same reason, the others are likely to be demolished in the coming decades.
Photograph	

APPENDIX B – LOCALITIES FOR BIODIVERSITY OFFSETS AND INTERVENTIONS

- B1 Below is a brief outline of a selection of projects or actions that could be used to enhance biodiversity within (or immediately adjacent to) the parish using the statutory 10% biodiversity net-gain funds or other similar funding. These are shown in *Figure 8*.
- B2 All projects would need to be appropriately discussed with land owners, managers and ecologists to ensure acceptable management interventions as well as good environmental outcomes.

Hedgerows

- B3 Restoration or planting of hedgerows along field margins or tracks inside or adjacent to the parish provides shelter and a corridor for many species, especially mammals, birds and butterflies. There were more hedgerows in the past, along with the characteristic flint walls. But most hedgerows have suffered from senescence and a lack of regeneration due to frequent sheep grazing of saplings.
- B4 When re-established, planted saplings would need some level of initial protection from grazing, but this is probably not feasible against rabbits. Hedgerows are best as 2 to 3 meters in depth, not a single line, and 1.5 to 2 m high, and should not be established alongside existing flint walls.
1. Old Willingdon Road hedgerow: Restoration of around 450 metres of existing hedgerow along the Old Willingdon Road/Duttles Brow. Some hedgerow already exists but is not in good condition in parts. A better developed hedgerow here would facilitate animal movement along the Old Willingdon Road, which has been identified as one of the parish's significant biodiversity areas. Ownership of the trackway is thought to be with East Sussex County Council. There is an existing fence line on both sides of the public track so no additional fencing would be required.
 2. Summer Down hedgerows: Planting and restoration in parts of two stretches of hedgerow along and adjacent to the parish boundary near the TV mast at end of Footpath 33. The total extent would be around 600 metres. Hedgerow here would help facilitate animal movement between the Old Willingdon Road, Friston Dencher and Friston Forest into the Downlands Estate. Some proposed hedgerow will be on Eastbourne Council Downland but the main north-south stretch could be on either Eastbourne Council or EDF Parish Council land. Some fencing or special protection would be needed against regular sheep grazing, although 400 m is already fenced on one possible side.
 3. A259 hedgerow: Restoration and replanting of around 700 metres of hedgerow along the north side of A259 on East Dean Down, from the parish boundary towards Eastbourne, but all is visible from public spaces within the parish. A number of hedgerow trees were planted here in the 1990s by East Sussex County Council but have suffered from poor maintenance; restoration and gap-filling are required. As the road verge (a designated Meadow Verge by East Sussex County Council) is already fenced, additional fencing would not be required. Hedgerow here would help facilitate reduction in pollution from heavy traffic along the main road.
 4. East Dean Down hedgerow: Planting and restoration of an approx. 650 metre stretch of hedgerow along the parish eastern boundary above fields belonging to the Gilbert Estate. The remnant patches of hedgerow are actually on Eastbourne Council Downland, which may be a

better place to locate missing hedgerow. Together with restored hedge-lines at Cornish Farm and along the A259, this would provide shelter and a corridor for animals on this otherwise rather open grazing area. Protection would be required against sheep grazing, probably best done through fencing. Although there is an existing wire fence line, additional protective fencing of around 650 metres may be required.

5. Cornish Farm hedgerow: Create and/or restore around 320 metres of hedgerow along the public access track leading from Cornish Farm to Birling Manor. Scattered old hedgerow trees still remain on the field bank, but there is no regeneration or shelter now. The most appropriate land belongs to Eastbourne Council, with old flint walls marking the parish boundary and Gilbert Estate land. Some protection of planted saplings from seasonal grazing would be required.

Woodland protection

- B5 There are few patches of deciduous woodland in the parish, aside from the planted Friston Forest, and two of these are designated as Ancient Woodland. However, both are not in good condition owing to excessive grazing by sheep which has damaged the regenerating saplings as well as many woodland herbs. In many respects they do not have any remaining characteristics of Ancient Woodland, such as large or over-mature trees and a rich herbaceous flora with woodland indicator species. For regeneration to occur, the main input required is simple fencing against grazing, although woodland margins (ecotones) and not abrupt boundaries can be of great importance to many animals and plants. It is recognised that any fences should include easy-access gates for people, but vehicle access and wide gates may not be specifically required. However, a major issue in local woodlands in recent years is the spread of Ash Dieback disease, ash being one of the commonest constituent trees. Although there is regeneration of ash, many areas are now showing a significant increase in sycamore.
6. Crowlink Woodland: An area of ash-dominated mixed woodland along the western parish boundary in the Crowlink valley belonging to the National Trust. It forms part of the Seven Sisters SSSI and has some unusual chalk grassland plants growing lower down. Some of the ash trees are wind-swept and mature, but there is little or no regeneration. The herbaceous layer comprises grazing grasses and has been excessively enriched with sheep droppings. Fencing is necessary to protect the c.2.8 hectare area from grazing and allow possible regeneration. As it is already fenced on two sides, only around 650 metres of additional fencing would be required.
 7. Hobbs Eares Ancient Woodland: Fencing of an area of Ancient and adjacent woodland on the sides of Hobbs Eares below Friston Church. This woodland is also somewhat moribund with little regeneration apart from sycamore, and a very poor and non-characteristic herbaceous flora. There are not many truly mature trees, and additional trees were planted along the lower margin after the big storm in 1987. The land belongs to and is managed by the National Trust. Basic fencing is required to protect this 1.8-hectare woodland from sheep grazing to allow for regeneration, establishment of a woodland understorey and to reduce nutrient levels; the woodland had historically been fenced. Excluding existing fences at the south-east end, around 650 metres of new fencing would be required. However, owing to Ash dieback and falling trees, this may not be practicable at present and a protective coppice regime may be more appropriate.

8. Went Hill Ancient Woodland: Fencing of an area of designated Ancient Woodland with some adjacent woodland on the steep slopes of Went Hill above East Dean village. The woodland belongs to the Gilbert Estate and lies adjacent to an extension of the Seven Sisters SSSI and to National Trust land. Basic fencing is required to protect this 2.2-hectare woodland from sheep grazing to allow for regeneration and establishment of a woodland understorey. Historically, at least part of the area was fenced against sheep, but the fences are now in a significant state of disrepair. Excluding existing flint walls and good fences about 300 metres of additional fencing would be required.
9. Friston Dencher: Fencing against grazing of a long section of open deciduous woodland called Friston Dencher below the Old Willingdon Road. The area is designated as part of the Friston Forest Local Wildlife Site and belongs to South-East Water/Forestry England. However, it has been under moderate levels of sheep grazing for many years, many trees are becoming moribund and there is very little regeneration. Friston Dencher is an important part of the wildlife corridor from the extensive Friston Forest to the Old Willingdon Road hedges and thickets and thence to the Downlands Estate. The wildlife of the area is the main reason for the designation of the Local Wildlife Site. Protection is required if tree regeneration is to be successful, along with the development of a woodland understorey and herb layer to provide more shelter for animals. None of the area is fenced at present; around 1200 metres of simple sheep fencing would be required, along with footpath access gates.

Ponds

10. East Dean pond: Reestablishment of a large village pond adjacent to the Gilberts Drive junction with the A259 road in East Dean. The original pond, which was drained possibly in the 1950s, was fed by runoff from the main road, but this caused drainage problems for an adjacent property. Ponds are a valuable focal point for much biodiversity and reestablishment of this one would enhance both amphibian and aquatic invertebrate populations, as well as being an amenity for residents as it would be readily visible from the bus stop and footpaths. The land – The Horsefield – belongs to the Gilbert Estate and is now a designated Local Green Space. At present the pond is surrounded by scrub and overhanging trees, which would need to be cut back to allow more light in. The area involved is around 200 square metres. The main issues would be to establish a relatively unpolluted inflow from the adjacent roads and to ensure flooding does not occur. Fencing is probably not required. Aquatic plants and invertebrates will establish themselves without any additional help.
11. Gayles Farm pond: Clearing of an old pond along the Gayles Farm access track, not far from the A259. The pond was originally excavated in the 1920-30s but now needs cutting back of overhanging trees. It appears to be fed primarily from rainfall, not runoff, and dries out in a dry summer. The area involved is around 250 square metres. This part of the parish is poor in freshwater so - with some level of opening - this one could act as an important amphibian breeding site, including for the bordering National Trust property of Gayles Farm just outside the parish boundary. The pond lies on private land and is not publicly accessible or visible.
12. Butchershole pond: Clearance of an existing pond north of Butchershole carpark inside Friston Forest. At present the pond is very overgrown and shaded and needs clearing and cutting back to be able to support more breeding amphibians, aquatic plants and other aquatic life. Although

now concrete-lined, it may have been an old farm pond or dewpond dating back over 100 years. The land, part of Friston Forest and a Local Wildlife Site, is managed by Forestry England and is full accessible to the public, being just a few hundred yards from a major carpark. The pond is probably fed from road runoff, and there would appear to be no other drainage issues. The area involved is less than 100 square metres.

Village Greens

13. Friston Green: Reestablishment of an amenity area on Friston Green. This is perhaps the most complex of the proposals outlined here as it could involve significant changes in the road layout at the A259–Jevington Road–Downlands Estate road junction. At present there are five roads criss-crossing what is a designated Village Green, making much of the area north of the A259 practically unusable for amenity purposes and of no value as a wildlife corridor or refuge. The area, about 2700 square metres in extent, belongs to the Parish Council; Friston Pond forms part of the same Village Green on the south side but would be unaffected directly by this proposal. It is proposed that the road system is rationalised leaving a much larger green space in front of the stone wall by Friston Forest, and the provision of one or two benches for the many footpath users coming through the forest to the coast path. Much of the existing Village Green area here comprises brambles and scrub in front of the flint wall forming the boundary with Friston Forest. At least part of this low-value and unsightly scrub area should be cut back to allow greater amenity and scenic value, as well as to allow wild flowers to flourish.

Additional notes

- B6 The main threats to biodiversity in the parish appear to be (a) the main A259 road that inhibits animal movement or results in fatalities, and (b) the use of garden and agricultural herbicide and pesticides. Thought could be given to possible interventions to address these threats.

APPENDIX C - LOCAL GREEN SPACES

What is a Local Green Space?

- C1 The Local Green Space (LGS) designation provides a mechanism to protect local green areas of special importance to local communities. The mechanism is established in the National Planning Policy Framework (NPPF) at paragraphs 106 to 108.
- C2 The policy enables communities, in particular circumstances, to identify and protect areas that are of value to them through local and neighbourhood plans.
- C3 Local Green Spaces can be designated in the Local Plan by the planning authority (borough, district, metropolitan or other unitary authority) and also by local communities in the Neighbourhood Plan. Once the designation is in place, it is subject to the same strong development restrictions as Green Belt, protecting against inappropriate development.
- C4 The NPPF sets out the criteria that a space must meet in order to be designated. There are three criteria, which are described by the Open Spaces Society as:

1. **The land has to be 'reasonably close to the community it serves'.**

There is no definition of this in the NPPF and it will be up to individual planning authorities to define. This may vary depending on the size of the community to which the green space relates, the size of the green space or the value placed on it by the community. The land must not be isolated from the community.

2. **The land has to be 'demonstrably special to a local community'.**

Evidence must be provided of the land's value to and use by the local community to show that it holds a particular local significance. The land must fulfil one or more of the following criteria:

(a) Beauty: This relates to the visual attractiveness of the site, and its contribution to landscape, character and or setting of the settlement. The LGS would need to contribute to local identity, character of the area and a sense of place, and make an important contribution to the physical form and layout of the settlement. It may link up with other open spaces and allow views through or beyond the settlement which are valued locally.

(b) Historic significance: The land should provide a setting for, and allow views of, heritage assets or other locally-valued landmarks. It may also hold significance historically itself. It may be necessary to research historic records from the County Archaeologist or National or Local Records Office.

(c) Recreational value: It must have local significance for recreation, perhaps through the variety of activities it supports, and be of value to the community.

(d) Tranquillity: Areas that provide an oasis of calm and a space for quiet reflection. Some authorities have an existing tranquillity map showing such areas.

(e) Richness of wildlife: This might include the value of its habitat, and priority areas may have been identified by the council. It may require some objective evidence, such as a designation, like a wildlife site or Local Nature Reserve.

3. The land needs to be ‘local in character, not an extensive tract of land’.

The criteria may differ between settlements depending on their physical size and population. The areas would normally be fairly self-contained with clearly-defined edges.

Process of identifying potential spaces in East Dean and Friston

- C5 The Steering Group undertook an audit of spaces in the parish that might be suitable for the designation. This was informed by local knowledge and also input from the community via the Community Survey and local events.
- C6 *Table 5* provides a summary of the long-list of existing and possible local green spaces identified within the parish. Some are already designated as Local Green Spaces by the South Downs National Park Authority (SDNPA), although two recent candidate submissions were rejected (two were accepted). Some spaces are owned and managed by the Parish Council, whilst others are privately owned, two of which are open access and managed by the Parish Council.
- C7 The East Dean Greensward is a bit of an anomaly. It is owned by a company – East Dean Greensward Limited – with a set of local Directors after purchase through the Resident’s Association over 10 years ago. However, it is partly managed by the Parish Council.
- C8 In practice, the Parish Council contractor regularly cuts the grass on all areas that are public access, except for the Friston Church area which is managed by the church itself.

Table 5: List of existing designated and possible Local Green Spaces and Village Greens

Name	Approx size (ha)	Public access	Ownership	Existing designations	Usage	NOTES and consideration of LGS designation
Greensward	1.7	Y	EDGL (RA)	Village Green	Recreation	Village fete. Small part not EDGL. Maintained by PC/RA. Important for dog walkers and playing games. Adequately protected already.
Friston Pond	0.8	Y	PC	Village Green	Amenity	much is road & scrub. Maintained by PC. Adequately protected already.
East Dean Village Green	0.2	Y	Private	Village Green	Amenity	Maintained by PC. Well-used by local residents. Adequately protected already.
Horsefield	1.0	N	Private/Gilbert Estate	LGS	grazing, part used for overflow car parking	Maintained under private arrangement. Already LGS.
Recreation Ground	1.7	Y	PC	QEII Field in Trust	Recreation	Cricket, playground + sports pavilion. Maintained by PC

Name	Approx size (ha)	Public access	Ownership	Existing designations	Usage	NOTES and consideration of LGS designation
						Adequately protected already.
Allotments, Went Way	0.2	N	Private/Gilbert Estate	LGS	Gardening	Leased to local residents, already an LGS
East Dean Village Green Allotments	0.1	N	Private/Gilbert Estate	None	Gardening	Privately let to residents. Assessed as not being suitable for Local Green Space designation.
East Dean Church green	0.1	Y	Private/Gilbert Estate	Village Green	Amenity	Up to road junction; only triangle by church is designated VG. Maintained by PC Adequately protected already.
Land in front of Fridays houses	0.1	Y	Wealden District council	none; proposed LGS	Amenity	Used by local residents. Maintained by Wealden Council. Assessed as suitable for LGS designation.
Bowling Green	0.1	N	Private/Gilbert Estate	none	Recreation	Green space used for recreational bowling. Leased and maintained by ED Bowls Club. Assessed as not being suitable for Local Green Space designation.
Friston churchyard + extension	0.2	Y	Benefice of EDF and Jevington	consecrated ground	Amenity	Accessible space. Maintained by church. Adequately protected already.
The Fridays field	1.0	N	Private/Gilbert Estate	none	Grazing	Earlier rejected as LGS.
Birling Gap thicket	1.3	N	Private	none; proposed LGS	Wild area	Left to go wild for many decades, wildlife value. Maintained privately. Assessed as suitable for LGS designation.
Longlist. total (ha)	8.5ha					
Total to be protected:	7.3ha					

Notes:

Designation refers to whether it has been designated as a Local Green Space (LGS) by SDNPA.
Ownership of church lands is unclear.

C9 In addition to the areas shown in *Table 5*, there are large areas of more/less open access areas of chalk downland and planted forest (Friston Forest) in and around the parish, readily accessible by all residents. These areas are owned by the National Trust, South East Water/Forestry England and Eastbourne Council. Many agricultural fields in the Birling Gap valley south of the A259 road to the coastal strip are owned by the Gilbert/Beachy Head Estate and are not open for access, except along Public Footpaths.

C10 The South Downs Local Plan has already designated The Horsefield and the Went Way Allotments in East Dean as Local Green Spaces. Each of the spaces in *Table 5* was considered by the group and as a consequence of this, in parallel with local engagement, the following two additional spaces have been identified by the community as being demonstrably special and are proposed as Local Green Spaces.

- Land in front of Fridays houses
- Birling Gap thicket


C11 Full details are provided in the tables below.

Land in front of Fridays houses

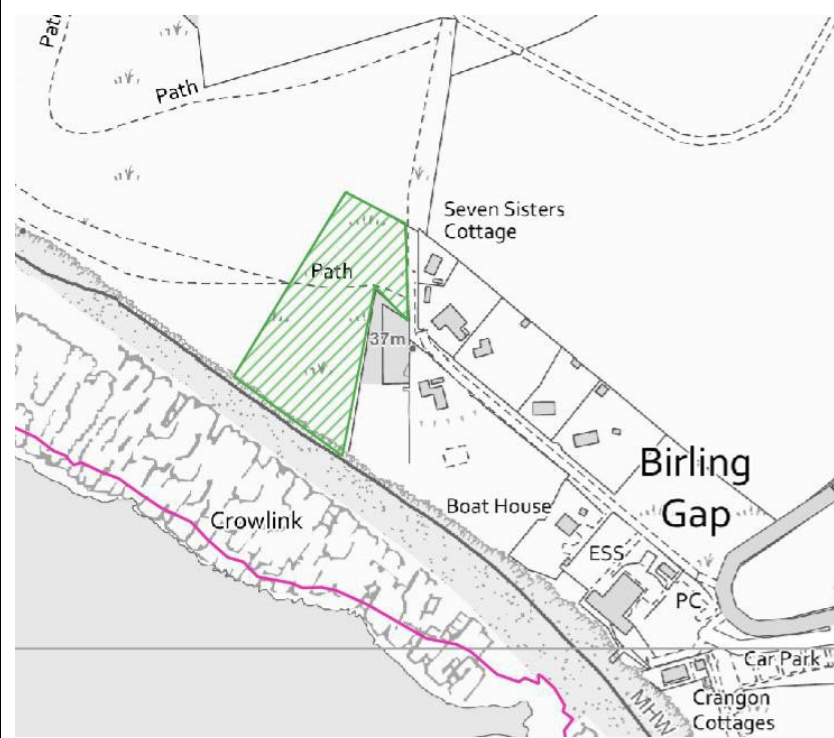
Address and location	Green space in front of the Fridays Houses along Gilbert Drive to the corner of Lower Street.
Ownership details	Wealden District Council (WDC).
Description and purpose / current use	A green amenity space, which is managed by WDC. The space provides the setting for the Fridays Houses and is laid to grass with some trees.
Any designations	Within the Heritage Coast designation. Outside the conservation area but on the southern edge.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves	The space primarily serves the Fridays Cottages and is fully accessible.
Demonstrably Special?	<p>Recreational: A shared green space for those living in the immediate vicinity.</p> <p>Historic: The spaces were included within the original design of the cottages and form an important setting to the houses.</p>

Local in character?	0.1ha
Photo	
Location map	

Birling Gap Thickets

Address and location	Top of Birling Gap track. Seven Sisters, Birling Gap
Ownership details	Privately owned.
Description and purpose / current use	A small area of low open thicket located to the west of Birling Gap Road above the last houses.
Any designations	Within the Heritage Coast designation and the Seaford to Beach Head SSSI.
Site allocations in Local Plan	None.
Planning permissions?	None.
Access & proximity including how close to the community it serves	Located close to Birling Gap. The South Downs Way crosses through the space.
Demonstrably Special?	Wildlife: The space has been left to go wild since 1936 and provides a habitat for a number of plant and animal species.
Local in character?	1.3 ha
Photo	

Location map



APPENDIX D - LOCALLY SIGNIFICANT VIEWS

- D1 The parish is very picturesque and affords many viewpoints across the landscape and within the settlements themselves. The EDFNP offers an opportunity to identify those views which are considered to be particularly special locally to ensure that they are not significantly compromised, for instance through development.
- D2 The community was asked at each of the drop-in events, through the survey, and as part of the photograph competition to set out views that they thought were significant to them. A long-list of 22 views was drawn up, which was reviewed by the Environment Working Group members and later the Steering Group. Views considered to be more at threat due to the potential for development to impact upon them were prioritised against those considered less threatened, for example because of their location across National Trust land or looking to the sea. Views which were looking beyond the parish boundary were excluded.
- D3 The shortlist was taken to back to the community for comment at the open day event in May 2024.
- D4 The following ten views have been identified as locally significant in East Dean and Friston.

View details	Photo
<p>View 1: The Gallops, Friston Hill</p> <p>Location: 50.7725 N, 0.1932 E</p> <p>Direction and breadth: 40 to 200°, midpoint 120° (width 160°)</p> <p>View southeast from near top of The Gallops along public footpath looking over Friston Forest to the Old Willingdon Road. Houses on skyline visible but exceeded by adjacent trees. Protected view by SDNPA.</p> <p>Significance: Skyline view from much frequented part of Friston Forest. Would be compromised by taller buildings.</p>	

View 2: Top of the Link

Location: 50.7661 N, 0.2136 E

Direction and breadth: 140 to 200°, midpoint 180° (width 60°)

View due south from triangular green space (where bench possibly to be located) at The Link at the top of Michel Dene Road southwards over Downlands Estate and part of East Dean village to the sea. View rather narrow with many houses each side.

Significance: View over Downlands Estate seen by many residents on short walks, which could be partly blocked by larger or taller houses. A bench is being sited here.



View 3: The Greensward

Location: 50.7655 N, 0.2098 E

Direction and breadth: 140 to 240°, midpoint 180° (width 130°). [For distant views width only 150–200°]

View due south from benches at top (N) end over Greensward towards East Dean village and sea, including Went Hill and Belle Tout. Houses at sides with trees and mature gardens, and trees all around Greensward (flowering cherry in spring).

Significance: An important view for residents that would be compromised by larger or taller houses around Deneside. Two benches are sited here.



View 4: Hobbs Eares

Location: 50.7618 N, 0.1998 E

Direction and breadth: 100 to 180°, midpoint 140° (width 80°)

View southwest down Hobbs Eares to East Dean village. Classic iconic view with ancient woodland to south. Crowlink Corner house on skyline to south.

Significance: View along a major pathway for residents and visitors alike that could be compromised by developments at Crowlink Corner or in parts of East Dean village.



View 5: Paynes Dene/Crowlink Valley

Location: 50.7588 N, 0.1936 E

Direction and width: 180 to 360°, midpoint 270° (width 180°)

View southwest from Crowlink hamlet road, down Crowlink valley over the hamlet to the sea, with Gayles Farm pines on western skyline. Looking over grazed downland. Upper part of valley sometimes known as Paynes Dene

Significance: Iconic view down an important walking/tourist route to the cliffs that could be compromised by taller buildings at Crowlink or along the Gayles Farm skyline.



View 6: Crowlink Corner/3-way stile

Location: 50.7580 N, 0.2020 E

Direction and breadth: 90 to 220°, midpoint 160° (width 130°)

View east to south-east from top of Went Acre field by bench, just over the 3-way stone wall stile at Crowlink Corner. Mid and far distance view over East Dean village and Went Hill woodlands towards Belle Tout, Beachy Head and sea.

Significance: Classic view over the old village of East Dean to the sea that is on a frequently-used local footpath.



View 7: Went Hill (a)

Location: 50.7547 N, 0.2013 E

Direction and width: E

0–150°, midpoint 90° (width 150°)

View due east from north to south from grassland patch (National Trust) off Went Hill footpath, looking east over steep chalk grassland to East Dean and Downlands Estate, Recreation ground, Birling Manor and Cornish Farm to Beachy Head. Woodland in mid-distance.

Significance: View looking back over the old East Dean village seen by many visitors walking to the cliffs from East Dean.



View 8: Went Hill (b)

Location: 50.7525 N, 0.2019 E

Direction and breadth: E (NE to SE)

350°–160°, midpoint 90° (width 170°); 103 m altitude

View from north-east to south-east looking over Mill Down, whole of Downlands Estate and Pea Down, Eastdean Down, East Dean village, Birling

Manor and Cornish Farm to Beachy Head, Belle Tout and sea. View over steep chalk grassland with woodland in mid-distance.

Significance: View looking towards the sea seen by many visitors walking to the cliffs from East Dean village.



View 9: A259 looking west

Location: 50.7603 N, 0.2186 E

Direction and breadth: 200 to 20°, midpoint 300° (width 180°)

View west to north-west from edge of parish boundary on Eastdean Down on public footpath looking north-west over the Downland Estate and upper part of East Dean. Also Chapmans Bottom to Birling Manor and sea.

Significance: View of East Dean and Friston seen by all travellers by bus or car on entering the parish.



APPENDIX E - EAST DEAN AND FRISTON PARISH DESIGN GUIDANCE AND CODES

The East Dean and Friston Parish Design Guidance and Codes forms an integral part of the EDFNP.

East Dean and Friston Parish

Design Guidance and Codes

Final report
February 2025

Contents

Quality information

Prepared by

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Revision History

Issue no.	Issue date	Details	Issued by	Position
			Angus McNeill	
1	15/03/2024	Draft for review	Peel	Senior Planner
2	26/03/2024	Draft review	Alison Eardley	East Dean and Friston NP Consultant
3	12/04/2024	Final report for locality review	Jack Wilton-Cooley	Consultant Planner
4	12/04/2024	Locality review	Madeleine Gohin	Locality
5	22/04/2024	Final report		Senior Planner
			Angus McNeill Peel	
6	10/01/2025	Revised report post Reg 14 comments	Angus McNeill Peel	Senior Planner
7	24/01/2025	Review	Alison Eardley	East Dean and Friston NP Consultant
8	17/02/2025	Review	Madeleine Gohin	Locality
9	17/02/2025	Final report	Angus McNeill Peel	Senior Planner

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Introduction

01

1. Introduction

The Design Guidance and Codes will inform development in East Dean and Friston Parish. Development will protect and enhance the local character and features of the parish.

1.1 About this document

1.1.1 Introduction

The Design Guidance and Codes supports the Neighbourhood Plan in providing a common reference point and understanding of what locally distinctive design is in East Dean and Friston. The Design Guidance and Codes defines the existing context and character of East Dean and Friston in order to provide practical advice for development.

1.1.2 Methodology

The Neighbourhood Plan Steering Group (SG), made up of residents and parish councillors, is tasked with creating a Neighbourhood Plan for East Dean and Friston. Through the Ministry of Housing, Communities and Local Government (MHCLG) Neighbourhood Planning Programme led by Locality, AECOM was commissioned to provide the Design Guidance and Codes to support the Group.

The Group provided guidance and local knowledge that informed this document. Figure 1 provides a brief overview of the key milestones to prepare this document.

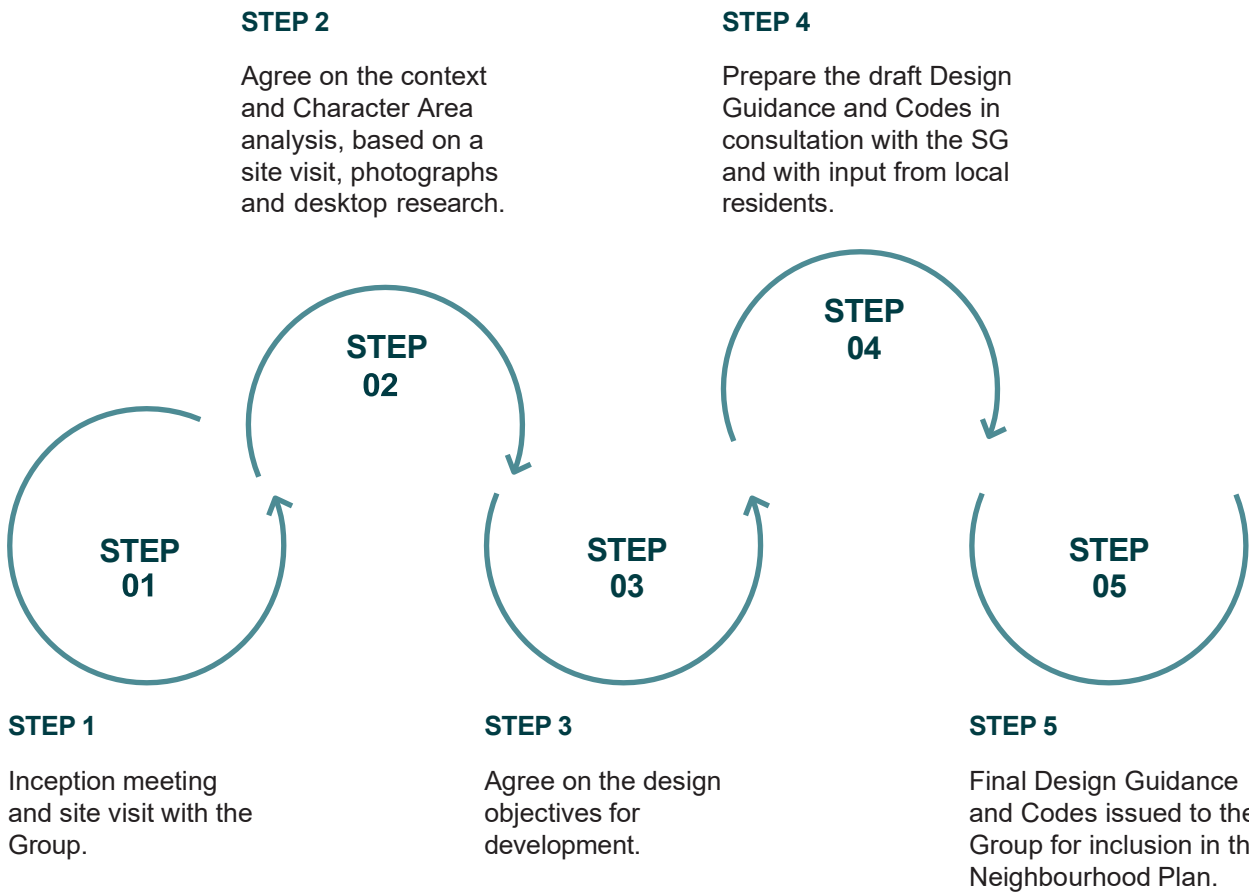


Figure 01: Diagram illustrating the process to preparing this document.

1.1.3 How to use this document

The Design Guidance and Codes should be a valuable tool in securing locally distinctive, high quality design in East Dean and Friston. It will be used differently by various stakeholders during the planning and development process, as summarised in Table 1.

A valuable way the Design Guidance and Codes can be used is as part of a process of co-design and involvement that seeks to understand and takes account of local preference and expectations for design quality. As such, the Design Guidance and Codes can help to facilitate conversations on the various topics to align expectations, aid understanding and balance key local issues. The Design Guidance and Codes alone will not automatically secure optimum design outcomes but should help all involved.

Stakeholders	How they may use this document
Applicants, developers and landowners	As a guide to community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the Design Guidance and Codes as planning consent is sought.
South Downs National Park Authority	As a reference point, embedded in policy, against which to assess planning applications. The document should be discussed with applicants during any pre-application discussions.
East Dean and Friston Parish Council	As a guide when commenting on planning applications, ensuring that the Design Guidance and Codes are complied with.
Community organisations	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.
Homeowners	As a guide when planning alterations to their property.

Table 01: Stakeholders and how they may use this document.

1.2 Overview of the Neighbourhood Area

1.2.1 Introduction

The Neighbourhood Area (NA) of East Dean and Friston is an 856 hectare parish in the Wealden District of East Sussex. The parish is entirely within the South Downs National Park, governed by the South Downs National Park Authority, and it is home to 1,599 residents in 2021 (Source: 2021 Census).

The settlements of East Dean and Friston, together with the hamlets of Birling Gap and Crowlink make up the parish. The villages benefit from some services such as a village hall, a shop, a cricket club, restaurants, a pub, two churches and a regular bus service.

The parish is located between the towns of Seaford and Eastbourne, 4.5 miles and 5.5 miles to the east and west respectively.



Figure 02: Neighbourhood Area Aerial Map.

KEY

- Neighbourhood Area
- Wealden District
- South Downs National Park (SDNP)
- Wealden District & SDNP
- The English Channel



Figure 03: Neighbourhood Area location in context. The parish overlaps the Wealden District but is entirely under the South Downs National Park Authority.

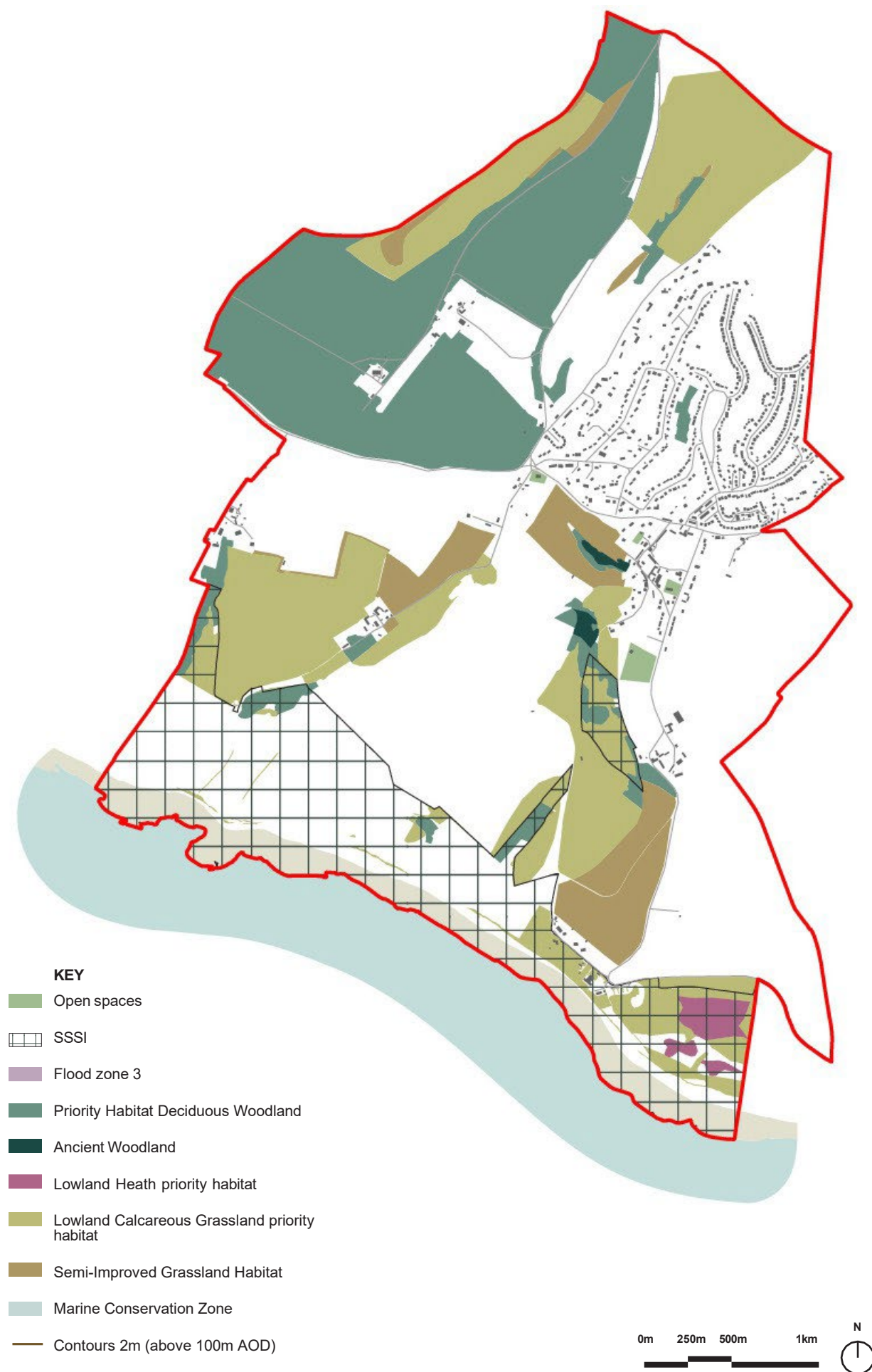


Figure 04: Landscape and Ecology map of Neighbourhood Area.

1.2.2 Landscape and ecology

The NA has a highly distinctive landscape character and is unique due to its setting at the easternmost edge of the South Downs National Park and position on the south coast.

The southern perimeter of the parish is defined by the Seven Sisters chalk cliffs on the English Channel which form a section of the eroded South Downs range of hills. The coastal hamlet of Birling Gap provides an access point to an enclosed pebble beach here via a metal staircase. This area of the parish is covered by the Seaford to Beachy Head SSSI.

The northwest of the parish is covered by broadleaved deciduous woodland, much of which is a BAP (Biodiversity Action Plan) Priority Habitat. There are small pockets of Ancient and Semi-Natural woodland to the west of the village of East Dean.

The NA also has a high proportion of chalk grassland coverage, typical of East Sussex. This is divided between lowland heath, calcareous grassland, and semi-improved grassland. Much of this area is designated as priority habitat. Much of the area is a habitat for Corn Bunting and other birds.

The topography of the area is undulating, with a ridge running north-south on Warren Hill, forming a visual barrier with the western edge of Eastbourne. The northeastern edge of the parish rises sharply to 135m+ AOD (Above Ordnance Datum).



Figure 05: View of the English Channel along a Public Right of Way to the southwest of the parish, displaying the undulating chalk hills of the South Downs landscape.



Figure 06: Northward view along a Public Right of Way to the immediate south of East Dean Village, displaying pockets of woodland to either side.

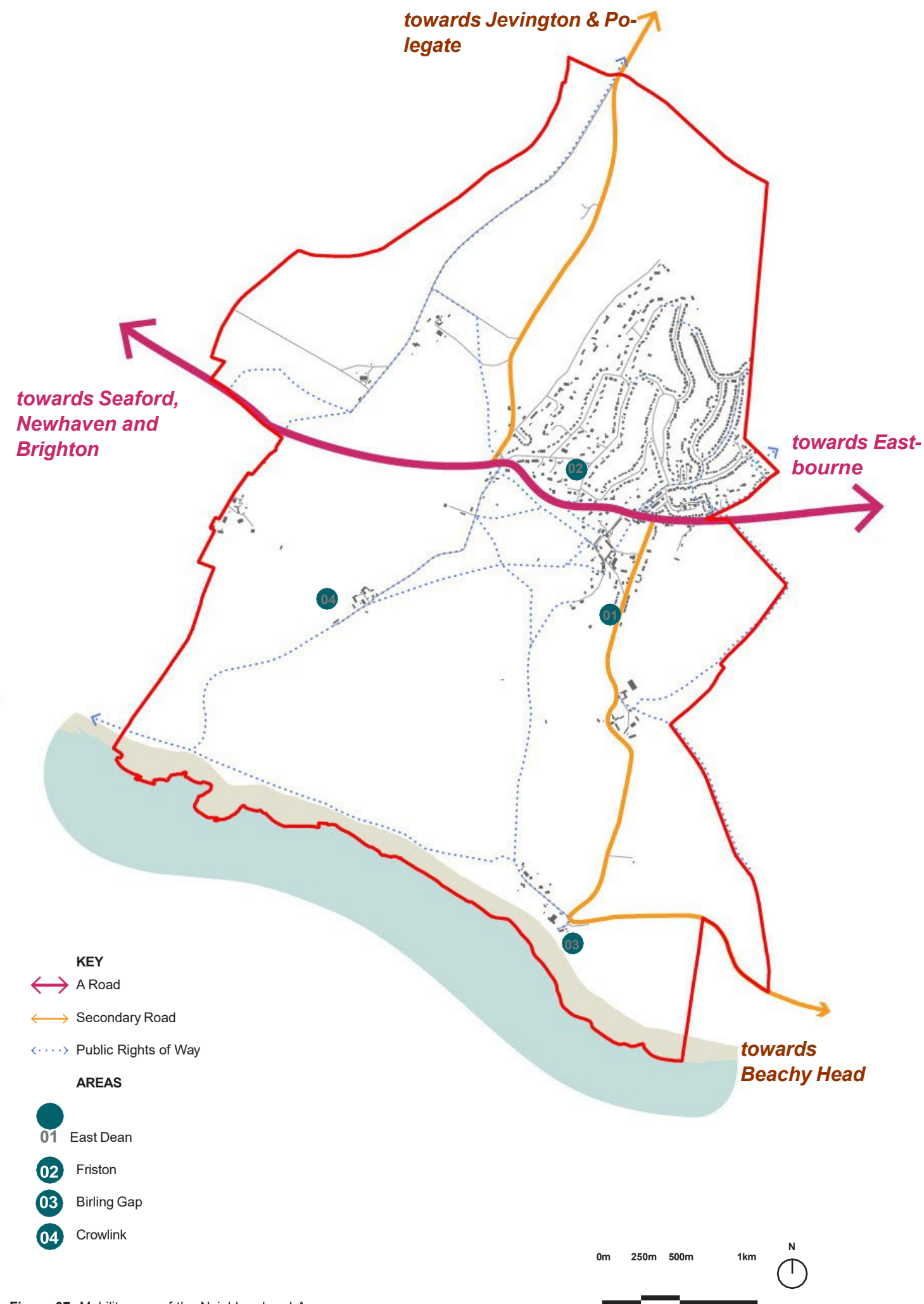


Figure 07: Mobility map of the Neighbourhood Area.
Prepared for: East Dean and Friston Parish Council

1.2.3 Access and movement

Due to its rural nature, the NA has limited vehicular routes and no internal railway lines. The A259 bisects the parish running east-west between Seaford and Eastbourne and sees a high level of through traffic. Eastbourne and Seaford train stations are accessible within 12 minutes and 27 minutes respectively, via a regular bus service (12X Coaster, 12, 12A) which runs through the centre of the village every 12 minutes.

Secondary routes link the village southwards to the hamlet of Birling Gap and onwards to Beachy Head, eventually circling back towards Eastbourne. Northwards, a rural road links with Jevington and onwards to Polegate.

Many of the local roads within the parish are deemed unadopted public highways and are maintained with no support from East Sussex County Council Highways. The roads on the Downlands Estate are private roads maintained by the East Dean Downloads (Roads) Ltd company. Residents in this area contribute by way of annual levy. Roads largely do not include footpath provision, a common feature of rural areas.

There is a well developed network of public rights of way across the open natural and agricultural areas of the parish, primarily to the southwest. This links to the South Downs Way which stretches across the

Seven Sisters cliff-scape.



Figure 08: High traffic junction between Seaford Road, Windmill Lane, and Crowlink Lane with no pedestrian crossing.



Figure 09: Example of a private road within the East Dean Downlands Estate with no footpath provision.

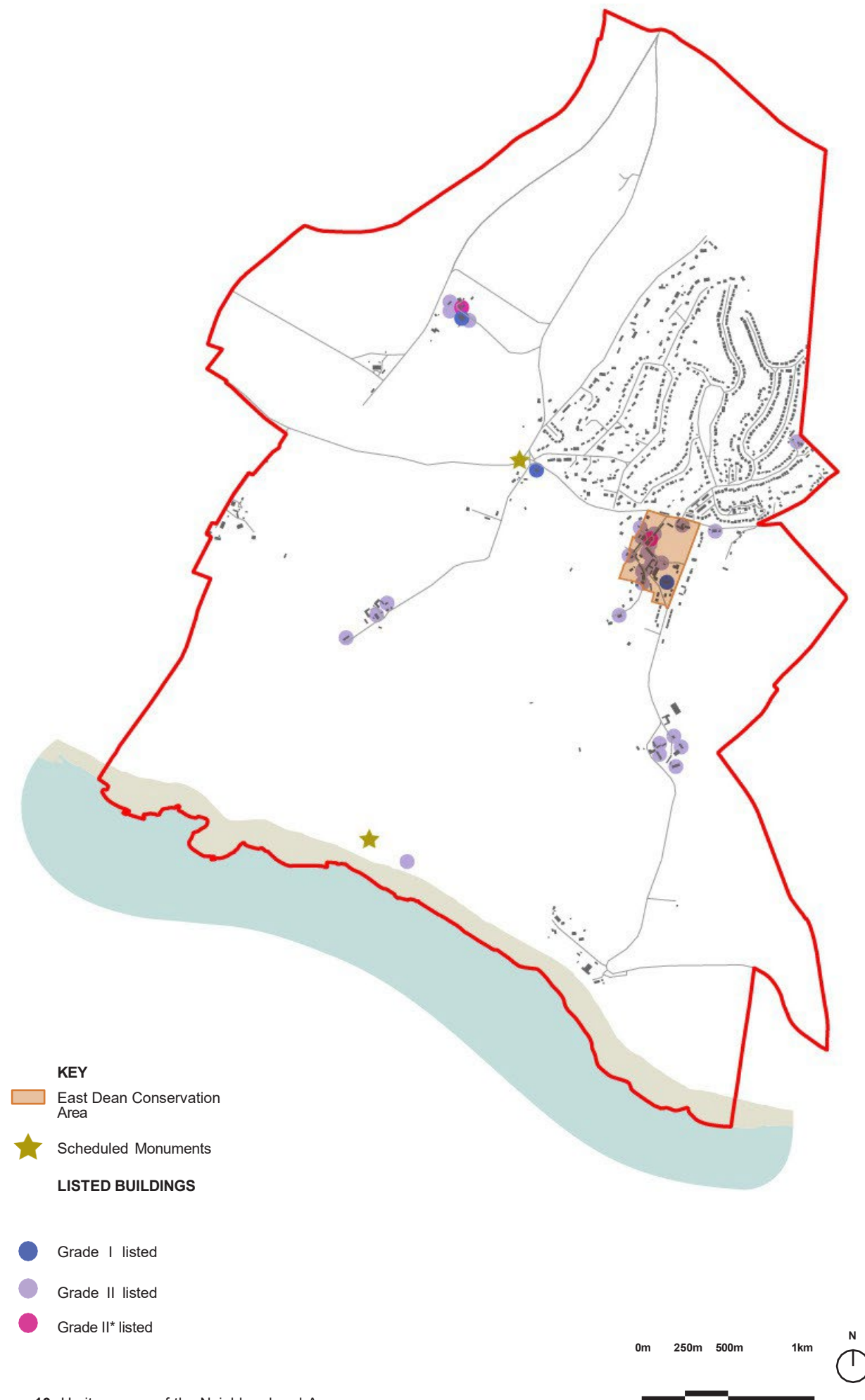


Figure 10: Heritage map of the Neighbourhood Area.
Prepared for: East Dean and Friston Parish Council

1.24 Heritage

The NA hosts a high proportion of listed assets including several examples of Grade I listed buildings at St Simon and St Jude Church, Church of St Mary The Virgin, and Friston Place Manor House. There are also two Scheduled Monuments within the parish; A *post-medieval dewpond* is situated west of the Church of St Mary the Virgin, and a *pair of bowl barrows on Baily's Hill* are located on the coastline. There are a number of non-designated heritage assets locally which will be identified within the Neighbourhood Plan. Much of the southern part of the parish is designated as 'heritage coast'.

Conservation Area

The East Dean Conservation Area covers the historic village and its largely 18th century built fabric. Buildings within the Conservation Area are typically faced with flint and red brick dressings and quoins. Roofs are tiled and fenestration consists of casement style windows. At the time of writing there is not an available Conservation Area Appraisal.

Heritage features

Vernacular features include half hipped tiled roofs, rusticated quoins, dentilled eaves cornices, timber casement windows, and gabled porches. Dwellings tend to be two storeys tall, sometimes with attic. Flint with redbrick detail is the overwhelming facade treatment, but plaster finishes are also evident.



Figure 11: Friston Hall, demonstrating a timber framed structure with a red brick facade including flints and tone quoins. This property is separated from the main built-up area of the village.



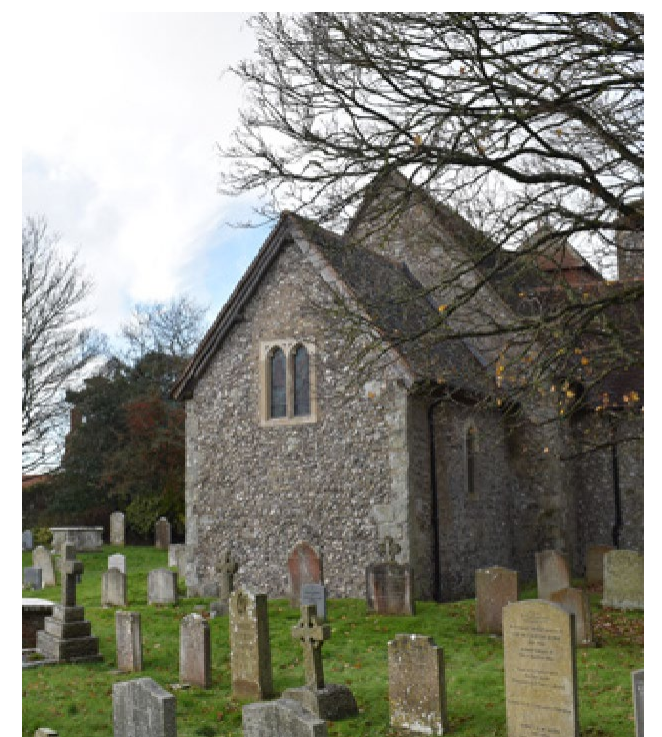
Figure 12: View southwest on Upper Road, within the East Dean Conservation Area, displaying a typical terrace of two storey flint fronted dwellings with clay tiled gabled roofs at alternating angles.



Figure 13: (Top) View west across East Dean Village Green, displaying a typical 19th century dwelling with distinctive flint facade.
Figure 14: (Bottom, Left) Mid-terrace vernacular cottage with inset dormer and timber casement windows.
Figure 15: (Bottom, Right) Grade II* Listed The Dipperays, late 18th century with two Venetian windows.

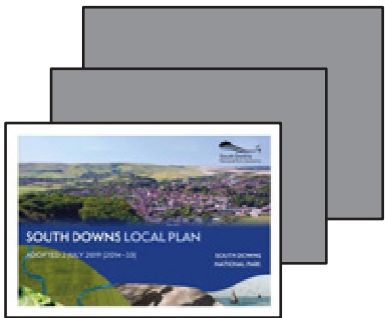


Figure 16: (Top) Row of Victorian coastguard cottages which has been partially removed due to coastal erosion.
Figure 17: (Bottom, Left) Decommissioned water tower on Old Willingdon Road.
Figure 18: (Bottom, Right) Rear view of Grade I Listed Church of St Mary The Virgin, displaying the cemetery.



1.3 Signpost to other documents

This section outlines the key national and local planning policy and guidance documents that have influenced, and should be read in conjunction with, this document. Note, this is not a comprehensive list of all design policy and guidance to be considered by development.



1.3.1 National Planning Policy

National Planning Policy Framework
MHCLG - December 2024

Development needs to consider national level planning policy guidance as set out in the National Planning Policy Framework (NPPF) and the National Planning Policy Guidance (NPPG).

National Design Guide
MHCLG - January 2021

The National Design Guide illustrates how well-designed places that are beautiful, enduring and successful can be achieved in practice.

National Model Design Code
MHCLG - June 2021

This National Model Design provides detailed guidance on the production of design codes, guides and policies to promote successful design. It expands on 10 characteristics of good design set out in the National Design Guide.

Green Infrastructure Framework
Natural England - January 2023

The Green Infrastructure Framework provides principles, standards, design guidance and process journeys for green and blue infrastructure. It also provides a mapped evidence base to support the future delivery of infrastructure in accordance with the standards of provision. The framework should be used as a reference point for development.

Building for a Healthy Life
Homes England - July 2023

Building for a Healthy Life is the government-endorsed industry standard for well-designed homes and neighbourhoods. The document recognises the crucial role that the built environment has in promoting wellbeing. The BHL toolkit sets out principles to help guide decision making on planning proposals, but also provides useful guidance for the design process.

Design Manual for Roads and Bridges
Department for Transport - March 2020

Development is expected to respond positively to the Design Manual for Roads and Bridges, the Government's guidance on how to design, construct, adopt and maintain new and existing residential roads. It promotes roads and wider development that avoid car dominated layouts but that do place the needs of pedestrians and cyclists first.

Cycle Infrastructure Design, Local Transport Note 1/20
Department of Transport - July 2020

The Local Transport Note 1/20 provides guidance to help cycling become a form of mass transit in many places. The guidance seeks to improve the design standards and safety of cycling infrastructure. It reflects current best practice, standards and legal requirements.

1.3.2 South Downs National Park Authority Documents

South Downs Local Plan (2014-2033)
South Downs National Park Authority - July 2019

This is a landscape led Local Plan, for the first time looking at the South Downs as a whole with National Park purposes and the duty of the SDNPA to the fore. The Plan introduces a new spatial portrait for the South Downs. The Local Plan considers the geology and geography and working practices that have shaped the landscapes of the National Park and their influence on the evolution of settlement patterns and communities.

South Downs Landscape Character Assessment
South Downs National Park Authority - October 2020

This report updates the Integrated Landscape Character Assessment (ILCA) for the South Downs National Park, which was first written in 2005 (before the National Park had been confirmed) and updated in 2011 to incorporate areas within the then newly designated National Park.

South Downs National Park Design Guide Supplementary Planning Document
South Downs National Park Authority - August 2022

This document builds on Local Plan design policies, should be read in conjunction with the sustainable construction SPD and provides guidance to applicants on a range of design issues relevant to development. Much of the guidance remains relevant even where small scale development does not need planning permission as the cumulative impacts of small changes can become significant over time.

1.4 Engagement

The contents of this document have been written with regard for comments made by local residents during the Neighbourhood Plan engagement.

A session was organised (accessible both online and in-person) by the Neighbourhood Plan Steering Group on January 29 2024, with responses collated and shared for the purpose of informing the following contents. Responses were provided on a number of themes, including design and visual amenity. Responses have been summarised in the below table which is arranged by order of most-common to least-common.

AECOM provided East Dean and Friston Parish Council with a number of discussion boards to generate dialogue and commentary on numerous design themes and features such as;

- Architectural style
- Parking arrangements
- Architectural variety
- Open space
- Relation to context
- Accessibility

In favour of:	Against:
Traditional or sympathetic design	Timber cladding
Allocated/ on-plot parking	Three storey building heights
Flint and brick facades	Contemporary architecture
Green space (gardens and verges)	High densities
Planting/ road trees	Road lighting
Variety of house types in a single development	Railings as boundary treatment
Rural style	Large homes
Generous gardens	The enlargement of existing homes
Solid (stone) boundary treatment	
Accessibility	
Environmental features	
Services and cycle parking	

Table 02: Summarised consultation responses by theme.

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Character Areas

02

2. Character Areas

This section provides a snapshot of the various Character Areas in the Neighbourhood Area.

2.1 Defining the Character Areas

Development of East Dean and Friston has varied significantly in its character over time. However, despite these differences, an overarching cohesion in the architectural vernacular can be identified. The village has grown significantly since its historic origins with the development of pre and post-war housing estates, the designs of which are very much a result of the period of development.

The Design Guidance and Codes set out the community's expectations for the design of development. It draws out key characteristics of the Conservation Area that are locally distinctive. Features of both the Conservation Area and the more recent major housing developments are considered to be valued, attractive and distinctive of the village as a whole and these will be promoted concurrently in the following material.

The Character Areas are shown on the map overleaf and detailed in this section. The remainder of the NA is best recognised for its countryside character.

Character Areas used in this report were previously defined within the East Dean and Friston Design Statement 2016¹. However, the "Old Village of East Dean" has been expanded slightly to include adjacent undeveloped plots. "Outlying Settlements" was also added to include the hamlets outside of the village but within the parish and NA.

The Character Areas included in this report are as follows:

- **The Old Village of East Dean**
- **Friston**
- **East Dean Downlands Estate**
- **Outlying Settlements**

¹ [East Dean and Friston Design Statement 2016.](#)

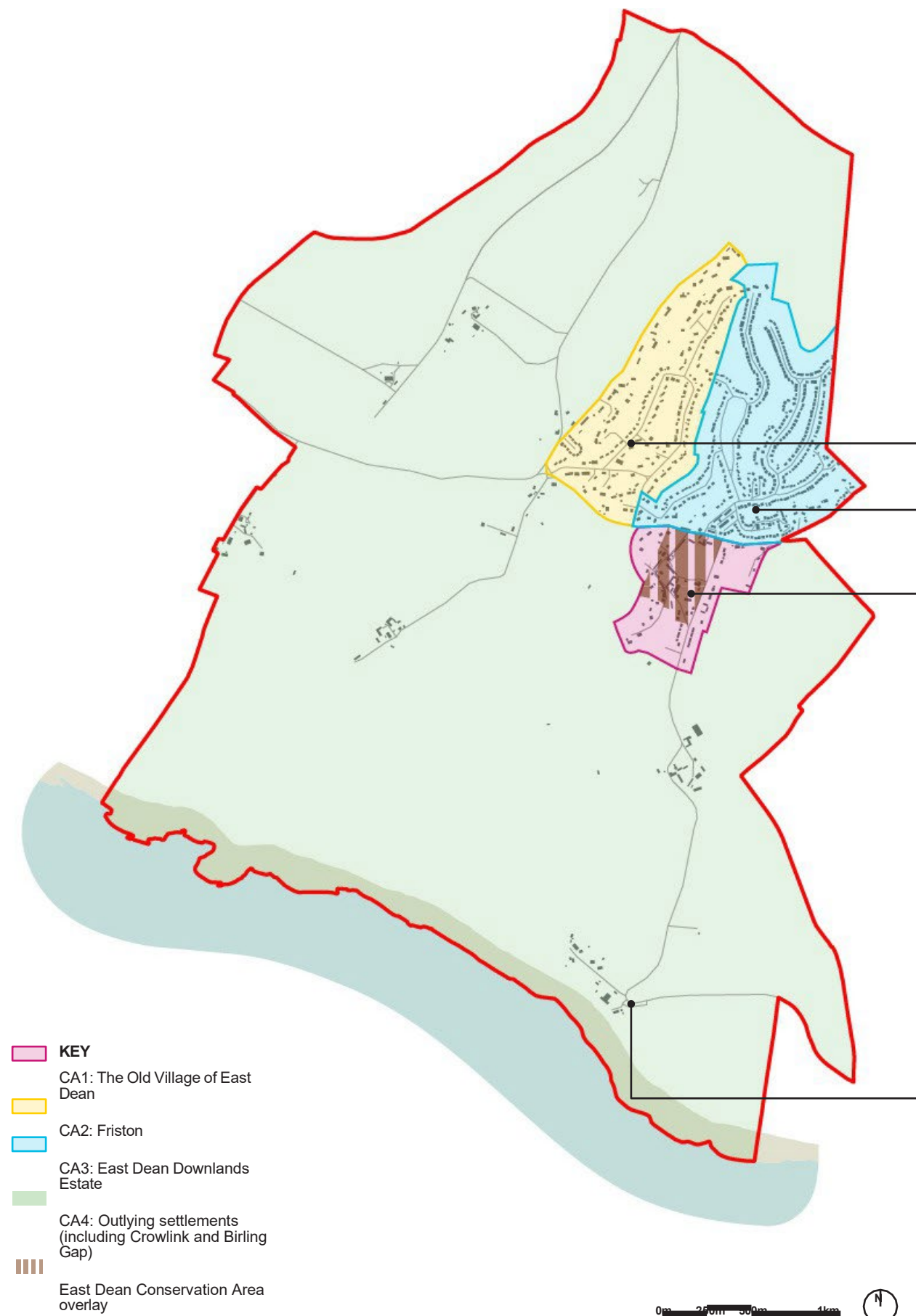


Figure 19: Character Area Map.

Figure 20: Example dwelling in Friston Character Area.



© N Chadwick

Figure 21: Roofscape of East Dean Downlands Estate Character Area.



© Simon Carey

Figure 22: Historic terrace in Old Village of East Dean Character Area.



Figure 23: View of Birling Gap in Outlying Settlements Character Area.



© Adrian Diack

Figure 24: CA1 Map.



The Old Village of East Dean

This area is partially covered by the East Dean Conservation Area and is defined as a Heritage Coast, protected by paragraph 114 of the National Planning Policy Framework to “maintain the character of the undeveloped coast, protecting and enhancing its distinctive landscapes, particularly in areas defined as heritage coast, and improve public access to and enjoyment of the coast”. The housing stock is primarily 18th century with some built stock from the 13th and 15th centuries as well as post-war ribbon development along Gilberts Drive.

Dwellings in the area vary greatly in scale and density, with a mix of terraced homes, large detached, and semi-detached residences. Properties are mostly two storeys high, but some include dormers. The roofscape includes gable, barn, and hipped styles.

Typical materials include flint, redbrick, clay tile, slate, timber frames, white render, and hanging tiles.

Favourable design outcomes

- Tight-knit urban grain, with slightly higher densities in proximity to services such as shops and transit nodes such as bus stops;
- On-road or shared courtyard car parking, arranged attractively and with sufficient capacity to prevent overspill parking;
- Historically sympathetic design using vernacular features and locally distinctive materials, or the use of complementary materials which harmonise with the surrounding built fabric;
- Shared green or open space where possible; and
- Modest scale of development which reflects surrounding buildings.



Figure 25: (Top, Left) New build housing on Gilberts Drive in vernacular style.
Figure 26: (Top, Right) Historic cottage on East Dean Village Green.
Figure 27: (Bottom) View northwest on East Dean Village Green.

Figure 28: CA2 Map.



Friston

An open and low density housing area where detached properties are set within extensive gardens (approximately 5-6 dwellings per hectare). The development was constructed in the inter-war period as a “garden estate”.

Development has broad built gaps and generous grass verges which results in an open atmosphere. Mature trees and hedgerows also contribute to the natural atmosphere, there is little use of solid walls as boundary treatment. Hipped and gabled rooflines are common, with clay hanging tiles featuring on facades. Dormer windows are another common feature at first floor level.

Roadways are narrow and rural feeling, with parking accommodated on-plot on driveways or in garages.

Favourable design outcomes

- Retaining an open and low density atmosphere;
- Low plot coverage ratios and abundant greenspace.
- Limited hard-standing, retention of distinctive mature trees and hedgerows which are characteristic of the area;
- Maintaining long distance views between properties;
- Dwellings featuring a variety of architectural features creating visual interest; and
- Dwellings featuring either clay tiles roofs or red/brown brick facades, in-keeping with surrounding properties.



Figure 29: (Top) Friston Fields, a large dormer house on the Old Willingdon Road.
Figure 30: (Bottom, Left) Two storey Edwardian house on the Old Willingdon Road.
Figure 31: (Bottom, Right) Two large homes with parking on the Old Willingdon Road.

Figure 32: CA3 Map.



East Dean Downslands Estate

The density here is approximately 12-13 dph, roughly double that of the Friston Area. The area is a post-war development with a variety of plot sizes. Dwellings are generally shorter in height, predominantly 1-1.5 storeys tall. Built gaps and plot sizes are irregular, with some variety in architectural style. However, the common use of red/ brown brick and clay tiles helps to generate a sense of conformity. Dormers and velux windows are typical in the area. Twittens link some of the main spine roads.

Dwellings tend to have open front gardens with mature planting, there are no footpaths. Garages also feature frequently across the area. Moss and lichen on the roofscape helps to blend the area into the surrounding open countryside.

Favourable design outcomes

- Development should sit comfortably in the landscape, responding sensitively to the topography and retaining landscape views. Dwellings should not exceed two storeys in height;
- Maintaining the permeable layout of development, particularly on foot and cycle. Promote connectivity through the use of twittens (alleyways) to link roads together. These alleyways act as an important route for residents who wish to walk on foot in this area. However, it is important that reference is made to the SDNP Design Guide C.1.2 guidance on security and crime prevention. Alleyways must benefit from passive surveillance and be well overlooked by properties to avoid the risk of security issues and crime;
- Dwellings must have on-plot parking which is arranged attractively using a porous material finish;
- Dwellings will be harmonious in style, featuring clay tiled hipped roofs, dormer windows where appropriate, and either brown or red brick facades;
- The building line remains consistent with regular built gaps (at four metres approx.), reflective of the existing layout and retaining outward landscape views.



Figure 33: (Top) South-eastern view from The Link across the SDNP, exemplifying the low-rise nature of existing buildings which allow for landscape views.
Figure 34: (Bottom, Left) Dormer bungalows on hillside with on-plot parking and planted gardens.
Figure 35: (Bottom, Right) Dormer bungalow with mature front garden.

Outlying settlements

The village of East Dean and Friston is surrounded by several clusters of development and hamlets. These areas are unlikely to experience substantial development due to their isolated positions and rural character.

Crowlink originated as a 17th century farmstead and is primarily finished in brick, flint, and clay tiles.

Birling Gap has a row of 19th century concrete coastguard cottages as well as several post-war chalets. There is no particular architectural style in this area with no use of flint.

Friston Place is a listed 16th century Hall House with supporting buildings. It is finished with brick and flint.

Gayles Farm is located on a spur off the A259 and is physically isolated from the rest of the built-up area.

Birling Manor Farm is another listed manor with associated buildings, dating from as early as the 13th century. It is located off Gilberts Drive, between East Dean and Birling Gap. Its buildings are finished in render, flint and brick. The Bardolf Hall is set on a raised dais, with flint, red brick dressings, and quoins on the facade and a tiled roof.

Favourable design outcomes

- Development will remain low in density, with large setbacks from the road and generous unbuilt gaps between properties;
- Maintain long distance views between properties;
- Development will respond sensitively to the unique landscape of East Sussex and the South Downs National Park;
- Due to National Planning Policy, development in this area will remain extremely limited. However, the limited development which does come forward must respond to the character of neighbouring properties; and
- The natural environment is particularly important in this area and must be protected and improved, increasing biodiversity and visual amenity.



Figure 36: (Top, Left) Victorian terrace at the Birling Gap Shore Staircase.

Figure 37: (Top, Right) Dormer bungalow in Crowlink Hamlet.

Figure 38: (Bottom, Left) St Mary the Virgin, Church at the junction of Friston Hill and Crowlink Road.

Figure 39: (Bottom, Right) Two storey terraced properties in Crowlink.



Design Guidance and Codes

03

3. Design Guidance and Codes

This section sets out the principles that will influence the design of development and inform the retrofit or extension of existing properties in the NA. Local images are used to exemplify the Design Guidance and Codes.

The Design Guidance and Codes form an integral part of the Neighbourhood Plan and should be read in conjunction with other relevant policies.

3.1 Introduction

The following Design Guidance and Codes have been drawn from the contextual overview and character study of the previous sections, and in collaboration with the Steering Group (SG). The Design Guidance and Codes seek for development in the Neighbourhood Area (NA) to achieve these Design Objectives.

The material has been prepared consistent with and complementary to the design related policies and SPDs (Supplementary Planning Documents) adopted by the South Downs National Park Authority. This document aims to apply highly specific guidance for development within East Dean and Friston parish, in accordance with the views of local residents as represented by the Neighbourhood Plan SG. It is important that any developments in East Dean and Friston enhance the local character of the area, sits appropriately within the East Sussex landscape, and aligns with the

aspirations of the local community.

The Design Guidance and Codes apply to the whole NA. Unique outcomes for the Character Areas have been identified where applicable.

Guidance and codes will apply not only to newbuild development, but also to redevelopment of existing properties and extensions. **Very limited development is expected to take place within the parish due to its location within the SDNP.**

3.1.1 Guidance vs Codes

“Design Guidance” will be set out in a paragraph at the beginning of each theme and will outline overall design objectives to be achieved by the “Codes” which follow in a numbered format.

3.2 Active travel and walkable routes

Walking and cycling should be facilitated for short trips within the NA, making direct connections between housing and services or amenities.

It is unlikely that new vehicular through routes will be created by new development within the NA. However, development proposals may create additional links and improve the quality of existing routes wherever possible.

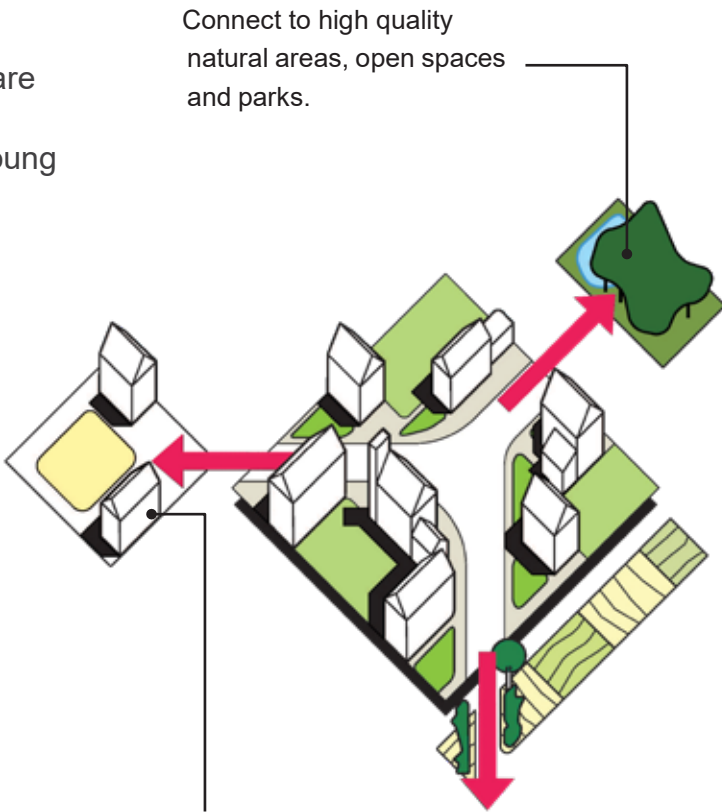
The following principles should be considered by development throughout the Neighbourhood Area:

- i. Users of public and private space are varied and include disabled users, parents/carers with buggies and young children. It is important for these users to be catered for when designing new development;
- ii. Walking and cycling routes along a roadway should provide safety from vehicles on the road. This requires a footway, grass verge or pavement that is wide enough to ensure pedestrians do not conflict with vehicles. Through routes should also be designed wide enough for the passage of buses to facilitate public

transport movement. In some cases, a traditional lane approach without footpaths may be the most appropriate for the immediate context; and

- iii. In addition, walking routes should not pass through hazardous areas such as fields with large animals, dykes, ditches or areas of flooding.
- iv. Reference should also be made to relevant local guidance, Roads in the South Downs.¹

¹ <https://www.southdowns.gov.uk/wp-content/uploads/2015/09/Roads-in-the-South-Downs.pdf>



Connect to high quality natural areas, open spaces and parks.

Walkable developments that connect to amenities with efficient pedestrian routes encourages walking and cycling.

Figure 40: Illustrative diagram showing direct routes from dwellings to amenities.

3.3 Form and Massing

The size, shape and aspect of individual buildings in the village contribute to the overall villagescape. Development has the opportunity to enhance this.

Development and extensions must reflect and complement the scale and layout of surrounding properties and the wider village. Newbuild housing must respect the existing settlement pattern and topography, sitting sensitively within the settlement and the wider landscape context.

Streets should create a sense of enclosure provided by the building height to road width ratio as well as consistent building lines and boundary treatments which create an intimate road scale. This allows the built form to define the space within.

An enclosure ratio refers to when buildings physically define public spaces particularly through proportions between height and width in an area to create places that are comfortable to pedestrians.

The following Character Area specific guidance overleaf should be considered by development proposals:

Friston

East Dean Downlands Estate

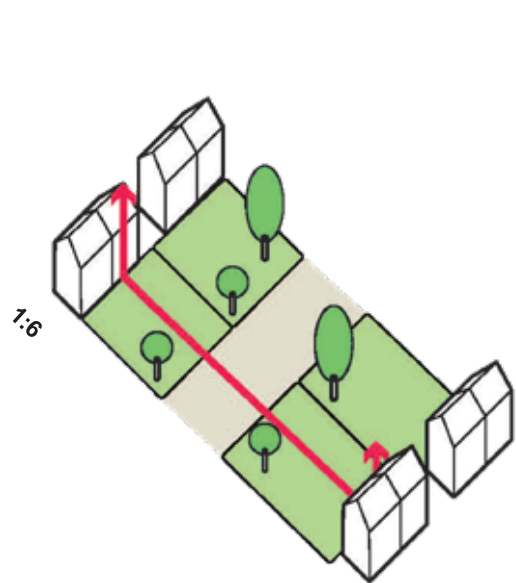
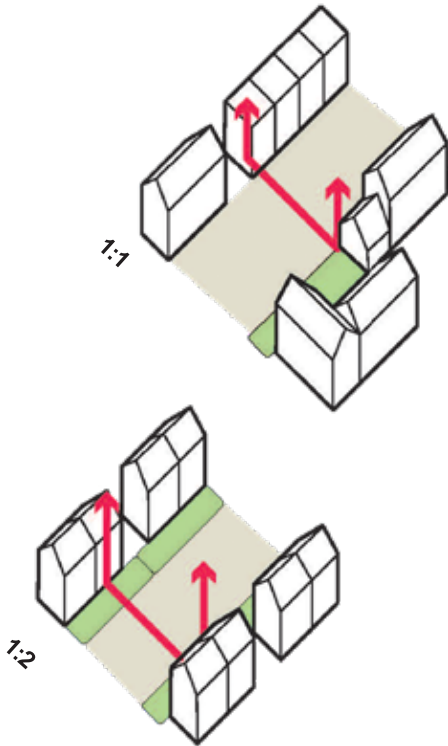


Figure 41: Illustrative diagrams displaying various rates of enclosure ratio which are applicable in various Character Areas.

The Old Village of East Dean



The Old Village of East Dean

Setbacks

- i. Development may have short setbacks, with buildings set immediately on the road edge;
- ii. Short front garden spaces of between 3-5m in depth may be included by infill developments;
- iii. Where there is a standard road edge, development should reinforce or continue this OR where there is an undefined road edge, development should take reference from neighbouring properties to determine an appropriate setback;

Unbuilt Gaps

- iv. Due to the varied layout in this area, unbuilt gaps will not be considered necessary in newbuild housing, terraced development will be acceptable;

Orientation

- v. Dwellings will generally be expected to be oriented towards the road. However, it will be acceptable for newbuild housing to be oriented towards outward views in this area;

Enclosure

- vi. This Character Area has a tight-knit, fine urban grain. Therefore, development should seek to achieve an enclosure ratio of 1:1 or 1:2;

Plot coverage

- vii. A high plot coverage is acceptable in this area, up to 0.5¹.

East Dean Downlands Estate

Setbacks

- viii. Housing in this Character Area generally has a setback of 10-15m from the road’s edge, this should be reflected in development proposals;

Unbuilt Gaps

- ix. Properties are generally detached or semi-detached in this area, with regular built gaps between 2-5m protecting landscape views between properties;

Orientation

- x. Dwellings should be oriented toward the road with entrances located on the front of the building;

Enclosure

- xi. This area has a relatively low level of enclosure, with the enclosure ratio falling at around 1:6, this should be reflected by development;

Plot coverage

- xii. Dwellings in this area typically have generous front and back gardens, therefore plot coverage ratios are lower, development should have a plot coverage ratio of approximately 0.2.

Friston

Setbacks

- xiii. Housing in this Character Area generally has a setback of 15-20m from the road’s edge, this should be reflected in development proposals;

Unbuilt Gaps

- xiv. The majority of dwellings within this Character Area are detached. Unbuilt gaps of 10-15m metres are common, development may reflect this;

Orientation

- xv. Dwellings should be oriented toward the road with entrances located on the front of the building;

Enclosure

- xvi. This area has a generally low enclosure ratio with an open feel, development should attempt to reflect this with an enclosure ratio of 1:6 and below;

Plot coverage

- xvii. This Character Area is low in density. Development should attempt to reflect this with a plot coverage ratio below 0.2;
- xviii. Backland development may be appropriate in this Character Area once appropriate built gaps and plot coverage is retained by infill properties.

Outlying Settlements

Setbacks

- xix. Setbacks in the outlying settlements are highly varied. Development in this Character Area should reflect that of neighbouring properties where possible;

Unbuilt Gaps

- xx. Generous unbuilt gaps of 10m at minimum should be included in development proposals due to the low density nature of this area;

Orientation

- xxi. Due to a lack of consistent building orientation in this area, development may be oriented along topographical features or towards external views;

Enclosure

- xxii. This area has a generally low enclosure ratio with an open feel, development should attempt to reflect this with an enclosure ratio of 1:6 and below;

Plot coverage

- xxiii. This Character Area is low in density. Development should attempt to reflect this with a plot coverage ratio below 0.2 where possible.

1 (Building Footprint/ Total Area of Plot) x 100%



Figure 42: Figure outlining low plot coverage in the Friston Character Area.



Figure 43: Figure outlining the plot coverage in the East Dean Downlands Estate Character Area.



Figure 44: Figure outlining the plot coverage in the Old Village of East Dean Character Area.

3.4 Height and Rooflines

The roofscape between each Character Area remains largely consistent. All developments and alterations should protect this quality.

The roofscape in the Neighbourhood Area includes several distinctive features such as hipped roof styles and dormer windows including eyelid dormers. Roof styles vary between the CAs with more complex Edwardian rooflines found in The Old Village of East Dean, with simpler gabled roof types in the post-war dwellings of Friston.

The following Character Area specific guidance overleaf should be considered by development proposals:

The Old Village of East Dean

Height

- i. Dwellings in this Character Area are typically 1.5 - 2 storeys in height. However, 3-3.5 storey structures are also evident. Development should generally not exceed 2 storeys in height

except for when topography allows for a slightly taller profile, or in a location where a taller element can create a placemaking or path-finding feature;

Roofline

- ii. Rooflines in this area are typically gabled with clay peg tiles or slate tiles, development in this area should reflect this;
- iii. Rooflines may be punctuated with inset dormer windows to reflect neighbouring properties;
- iv. Rooflines must be pitched, flat roofs will generally be unacceptable.



Slate gabled roof



Inset dormer window



Clay peg gabled roof



Typical dormer window

East Dean Downlands Estate

Height

- v. Dwellings in this character area are typically between 1-2 storeys in height. Development should not exceed two storeys (above ground level);

Roofline

- vi. Development may display hipped or gabled roofs with clay tiles;
- vii. Development may include dormer windows of various types.



Multiple dormers



Combination gabled and hipped roof



Hipped roof with dormer

Friston

Height

- viii. Dwellings are typically two storeys (above ground) in height, development should reflect this;

Roofline

- ix. This area has a mixed roofscape, including complex Edwardian roofs, hipped roofs, and gabled roofs. Development may reflect this;
- x. Roofs should be topped with slate or clay tiles.



Edwardian roof



Clay tiled gabled roof

Outlying Settlements

Height

- xi. Height should not exceed two storeys (above ground);

Roofline

- xii. The roof types in this Character Area are varied, development should take reference from neighbouring buildings.



Slate roof



Shallow angled Victorian roof

3.5 Materiality and Details

The material palette across the parish is warm, natural, and helps the built environment to seamlessly blend with the East Sussex landscape.

East Dean and Friston has an overwhelmingly cohesive built environment with a restrained material palette and several common features found across the parish within various Character Areas.

This quality should be protected, with future developments reflecting features of existing buildings. The following guidance will relate particularly to road addressing frontages.

To retain East Dean and Friston’s characteristic look, development should adhere to the following Character Area specific codes;

The Old Village of East Dean

Materials

- i. [On facades] Development proposals should seek to incorporate flint facing, red brick, or textured plaster render in white;

Features/Details

- ii. Windows should be in casement style, using flush fitting painted timber casements, rather than aluminium or plastic;
- iii. Facade detailing is encouraged to add visual interest to the road, this may include brick arches above fenestration or timber porches;

- iv. Contemporary designs may be acceptable when they incorporate vernacular form, features, and materials, as previously outlined;

Boundary treatment

- v. Boundary treatments in this area should consist of flint walls and should only be included at the front when there is sufficient setback from the road edge (2m+). Within th East Dean Conservation Area, boundary walls should be of a high material quality.



Flat roofed open porch



Flint facade



White painted flint facade with timber casement windows



Red brick arch detail in a former doorway

Materials

- i. [On facades] Development proposals should seek to incorporate red or brown brick, hanging clay tiles, or white plaster. Timber weatherboards may be acceptable when used sparingly;

Features/Details

- ii. Dwellings in this area have relatively simple overall forms. However, solid porches, and window features such as box bay windows will be acceptable;

Boundary treatment

- iii. Natural boundary treatments such as hedges and shrubs will be preferred. Low-rise solid boundary treatments may also be acceptable in certain cases. Tall wooden fences are discouraged. Grass verges should be included in this area; and
- iv. Concrete kerbs, posts, and bollards are discouraged due to their urbanising effects.

- quality materials. Tall wooden fences are discouraged. Grass verges should be included; and
- viii. Concrete kerbs, posts, and bollards are discouraged due to their urbanising effects.



Timber weatherboards



Brown hanging tiles



Box bay window and hanging tiles

Outlying Settlements

Materials

- v. Facade treatments may range from flint, render and brick, to timber weatherboards;

Features/Details

- vi. Development proposals should make reference to details seen in neighbouring properties, where these contribute positively to local character.

Boundary treatment

- vii. Natural boundary treatments such as hedges and shrubs are preferred but solid boundary treatments may also be acceptable when they use high



Brown brick



Brown brick with red detailing



Low solid boundary treatment with flint



Natural boundary treatment

3.6 External Lighting and Dark Skies

The neighbourhood area has a distinct dark skies quality due to its location within the South Downs National Park, and the private management of many roads.

The NA falls within zone E1a: Intrinsic Rural Darkness¹ within the Local Plan. Dark Sky Zones are classified using the Sky Quality Meter (SQM), which measures the brightness of an area of sky. Zone E1a includes areas which measure 20 SQM and above (excluding the core zone).

The following principles should be considered by development throughout the Neighbourhood Area:

- i. Ensure that lighting schemes will not cause unacceptable levels of light pollution particularly in intrinsically dark areas (covering the entire NA);
- ii. Consider lighting schemes that could be turned off when not needed ('part-night lighting') to reduce any potential adverse effects; i.e. when a business is closed or, in outdoor areas, switching off at quiet times between midnight and 5am or 6am. Planning conditions could potentially be used to enforce this;
- iii. Impact on sensitive wildlife receptors throughout the year, or at particular times (e.g. on migration routes), may be mitigated by the design of the lighting or by turning it off or down at sensitive times;

¹ See SDNP Dark Skies Technical Advice Note: <https://www.southdowns.gov.uk/planning-policy/supplementary-planning-documents/technical-advice-notes-tans/dark-skies-technical-advice-note-tan/>



Figure 45: Example of nocturnal wildlife common in the parish.

- i. The needs of particular individuals or groups should be considered where appropriate (e.g. the safety of pedestrians and cyclists). Schemes designed for those more likely to be older or visually impaired may require higher levels of light and enhanced contrast. In these cases, low level ground-mounted lighting should be considered.
- ii. Street lighting should be avoided within areas of public realm, in line with existing settlement character;
- iii. Any new developments and house extensions designs should encourage the use of natural light sources;
- iv. To minimise the impact on bats, the use of low pressured sodium lamps is recommended in preference to mercury or metal halide lamps which have a UV element that can affect the distribution of insects and attract bats to the area, affecting their natural behaviour (Bat Conservation Trust 2008). In general, lighting around any integrated bat roost features within the new development should be completely avoided;
- v. Lighting schemes should be part of a strategic approach where all light sources, including columns, bollards, switch off, PIR (Passive Infrared Sensor), porch lights, solar cat's eyes, up-lighting, path lighting, backlighting and downlighting, are put in an hierarchical order based on their use. This order will define the light levels and switch off times;
- vi. Light sources should be less than 2700K to ensure appropriate levels of light spill and glare. Light shields can also be used at light sources for additional protection over glare and light spill and thus dark skies; and
- vii. Choice of lighting should be energy-efficient and sustainable. The installation of carefully directed motion sensors should be encouraged.

3.7 Car and Cycle Parking and Services

Car parking should be managed attractively and efficiently to mitigate the effects of car clutter and congestion on the public realm.

Cars are a fact of life in rural areas. However, to maintain the amenity of the road and village, the design of car parking must be well considered by development. Furthermore, in accordance with sustainable aspirations for the [Neighbourhood Area](#). Examples of car parking typologies are shown on page 46.

Car Parking

Car parking design should be informed throughout the [Neighbourhood Area](#) by the following principles:

- i. Car parking should be combined with landscaping to minimise the presence of vehicles, garden space should be greater than parking area where possible;
- ii. Parking space should minimise impervious surfaces by utilising permeable paving;
- iii. Where garages are proposed, they should be located to the side or rear of the dwelling. If a garage is proposed to the front of a dwelling, it must be designed and arranged so that it is sensitive to context of the site;
- iv. Internal garage widths must be of a sufficient size (3m minimum) to accommodate for car parking, allowing ample room for the driver's door to

open with sufficient clearance on the passenger side, as well as bicycle parking and residential storage;

- v. Garages must be finished with the same architectural features and materials as the main building. Gable roofs will be preferable to skillion (flat) roofs which look 'tacked-on' to the side of a dwelling; and
- vi. Ensure manoeuvring areas for car parking does not dominate the road frontage, allowing for a generous front garden.

The following parking typologies are recommended in the Character Areas below;



Figure 46: On-plot and garage parking.

Outlying Settlements

East Dean Downlands Estate

Friston

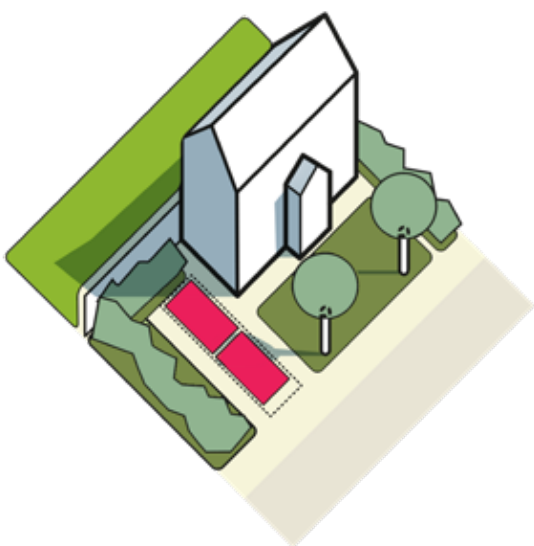


Figure 47: On-plot side parking.

Outlying Settlements

East Dean Downlands Estate

Friston

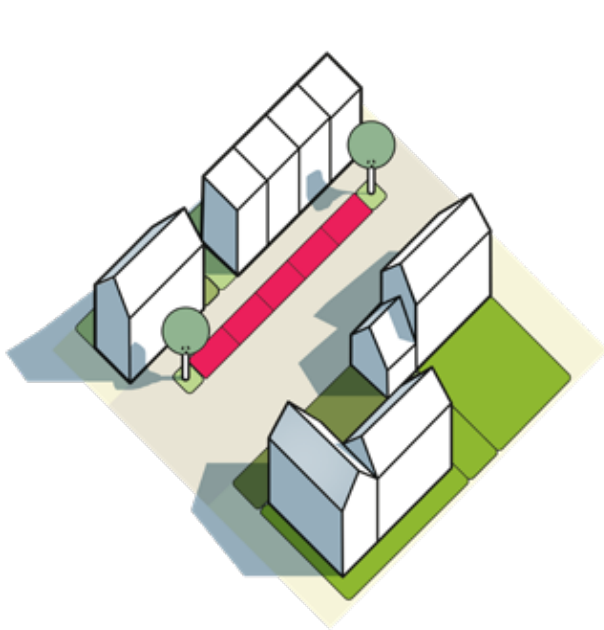


Figure 48: On-road parking.

The Old Village of East Dean

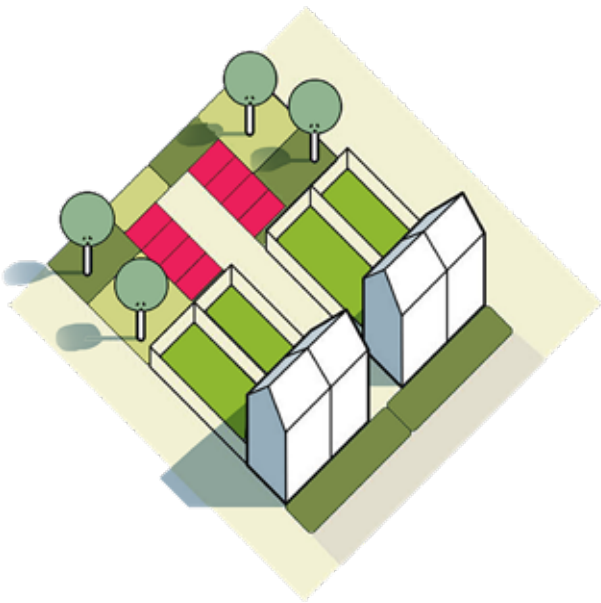


Figure 49: Rear courtyard parking.

The Old Village of East Dean

Cycle Parking

Cycle parking design should be informed throughout the Neighbourhood Area by the following principles:

For houses without garages:

- For residential units, where there is no on-plot garage, covered or secured cycle parking should be provided within the domestic curtilage;
- Cycle storage must be provided at a convenient location with an easy access;
- When provided within the footprint of the dwelling or as a free standing shed, cycle parking should be accessed by means of a door at least 900mm and the structure should be at least 2m deep; and
- The use of planting and smaller trees alongside cycle parking can be used. Green roofs and the use of timber materials is encouraged as this improves the appearance of cycle storage sheds.

For houses with garages:

- The minimum garage size should be 7m x 3m to allow space for cycle storage;
- Where possible, cycle parking should be accessed from the front of the building either in a specially constructed enclosure or easily accessible garage;
- The design of any enclosure should integrate well with the surroundings; and
- Bicycles must be removed easily without having to move the vehicle.



Figure 50: Example of cycle parking storage that fits sensitively within a rural environment, elsewhere in UK.

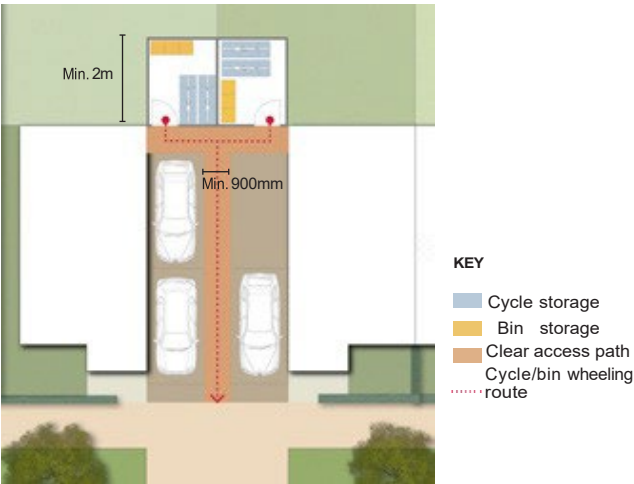


Figure 51: Indicative layout of a bicycle and bin storage area at the back of semi-detached properties.

3.8 Conversions and Extensions

Modifications and extensions should be harmonious in design to the original building and should improve the villagescape.

The following principles should be considered by development throughout the Neighbourhood Area:

Front Extensions

- i. Are generally not acceptable. If proposed, front extensions should take the form of the existing building, mirroring the roof pitch, replicate or have lower cornice height and their ridge should be below the existing ridge height. The extension can project maximum 2 metres beyond the front façade and must not cover more than 50% of the front elevation. Front extensions should not significantly alter the road edge.

Side Extensions

- ii. Should usually be set back from the main building line to the front of the dwelling and must either complement or match the materials and detailing of the original building, particularly along the road facing elevation. The roof of the extension should harmonise with that of the original building, highly complex roof junctures will generally be discouraged.

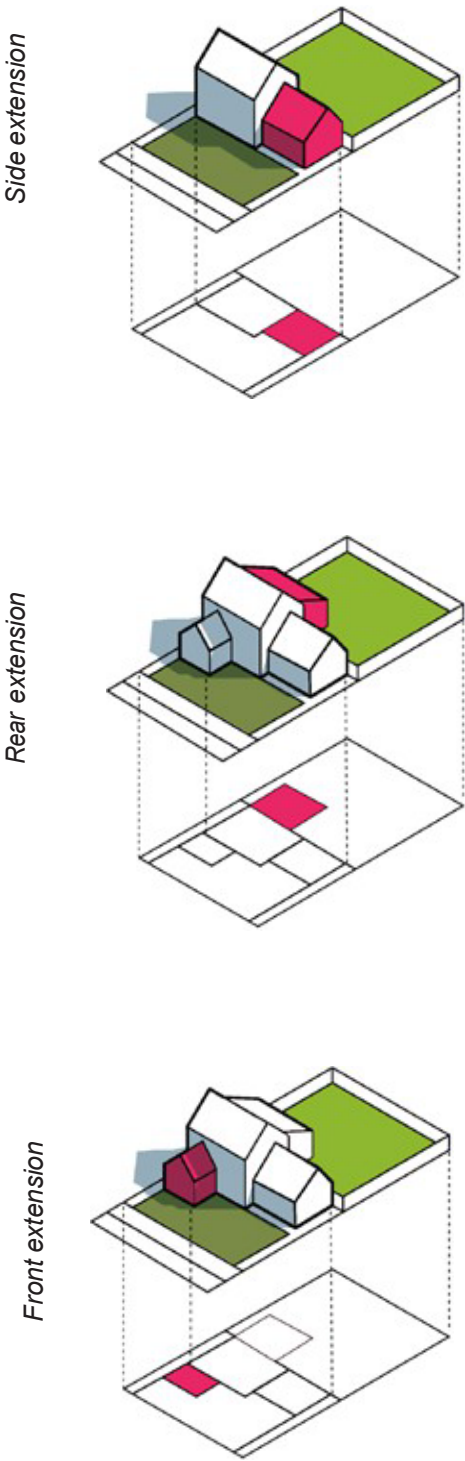


Figure 52: Examples of extension types.

- iii. High quality and context sensitive extensions will be supported where they have shown consideration for the overall villagescape and for neighbouring dwellings. Built gaps must be retained to an appropriate degree of at least 3-5 metres.

Rear Extensions

- iv. Should generally be single storey and set below any first-floor windows to minimise any effects on neighbouring properties, such as blocking day light. Double-storey rear extensions are not common as they usually affect neighbours' access to light and privacy, however, they may be acceptable when size and style of the property allows for a two-storey extension and it does not have a negative impact on the surrounding villagescape;
- v. The position of the chimney that maintains a sense of symmetry is significant in the Neighbourhood Area.



Figure 53: Negative example of a front extension which disrupts the existing building line and creates a substantial loss of front garden space and therefore contributes to surface water runoff.



Figure 54: Positive example of an extension which reflects the style and rhythm of the original dwelling and neighbouring dwellings while retaining the consistent building line.

Conversions¹

- vi. External additions should be subordinate in scale to the original or primary form of the building;
- vii. Extensions should be designed to match or compliment the existing facade material of the structure;
- viii. Modifications must retain evidence of a structure's previous use where possible;
- ix. Modifications must respect or enhance the appearance of the original building and the wider scene;
- x. Road facing facades should be free of domestic add-ons such as satellite dishes, external lighting, and hanging baskets; and
- xi. Extensions should have a minimal impact on the surrounding landscape by using natural screening where possible and an unobtrusive materials.
- xii. palette which blends with surrounding land uses.

¹ See Historic England's retrofit guidance here: <https://historicengland.org.uk/advice/technical-advice/retrofit-and-energy-efficiency-in-historic-buildings/>

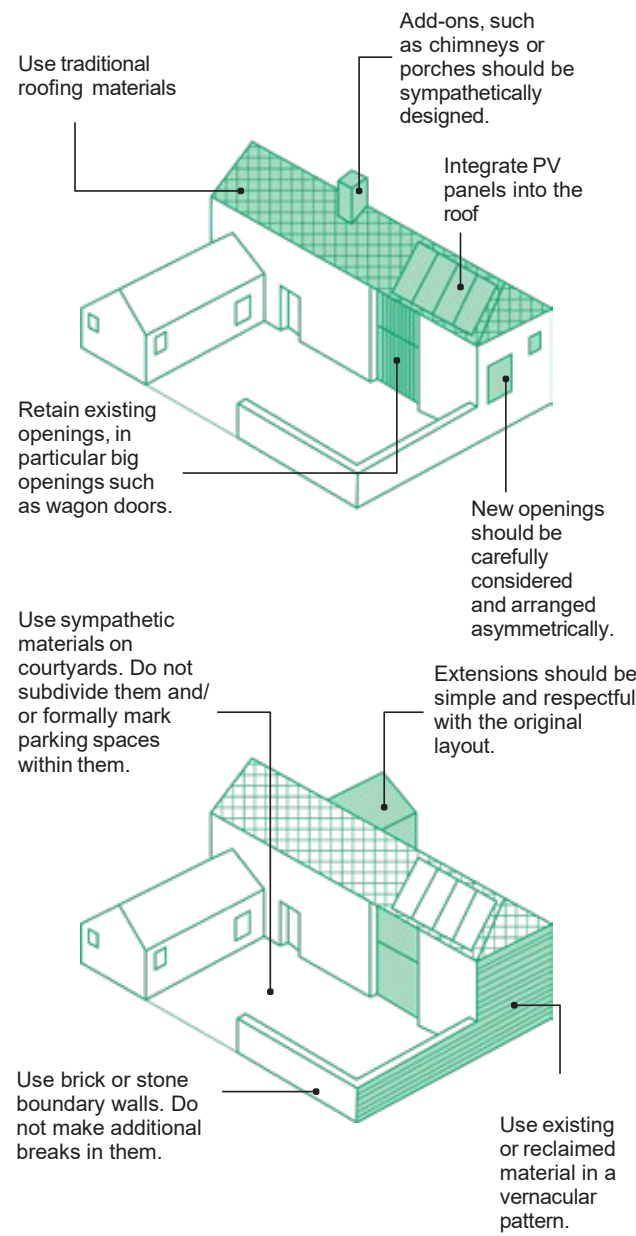


Figure 55: Acceptable examples of alterations made during conversion.

Attic Conversions

- xiii. Involving the addition of dormer windows on houses of traditional architectural styles should follow the diagrammatic guidance on figure 55.

Additional storeys

- xiv. Must be carefully considered and will only be considered appropriate if they can seamlessly blend with the existing building and do not have a negative impact on the villagescape from ground level.

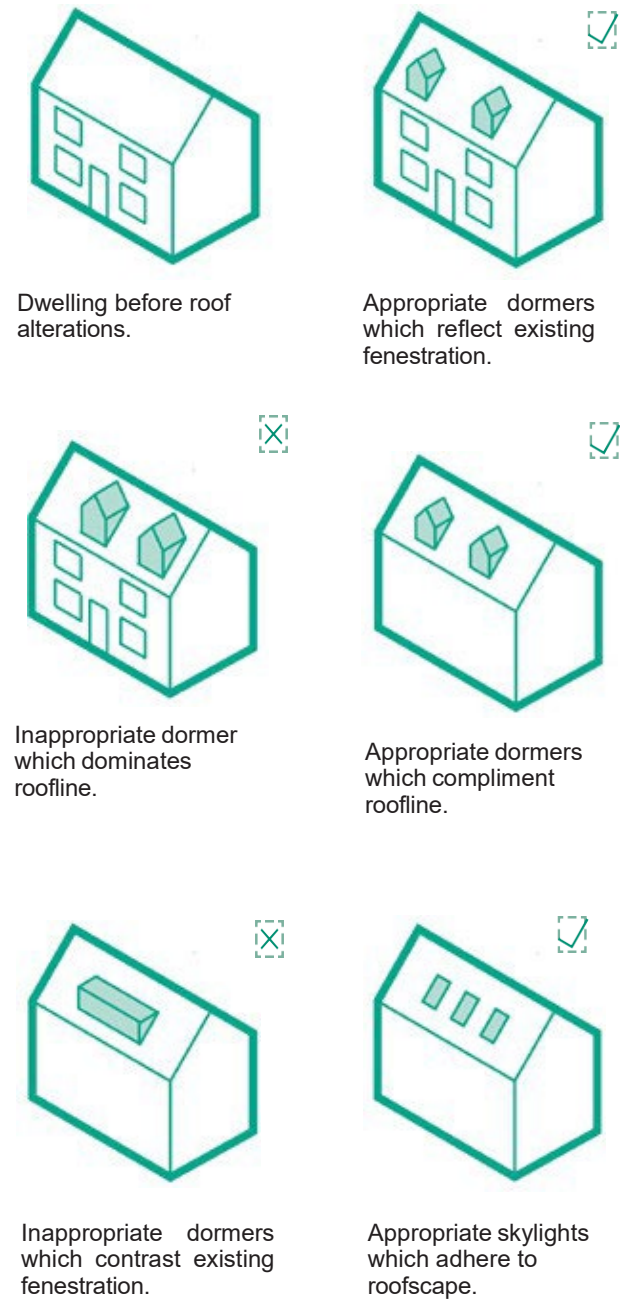


Figure 56: Guidance for dormer window additions on traditional style dwellings.

3.9 Sustainable Features

National and local planning guidance provides best-practice architectural design principles to deliver development and retrofit existing buildings to be more sustainable.

Dwellings should be as energy and water efficient as possible to reduce ongoing pressure on resources¹.

In addition to a general understanding of the local context and principles of good design, development should consider how to achieve net zero development in East Dean and Friston. All development should seek to improve on the current baseline of resource and energy use, climate change resilience, and healthy and sustainable living. The parish, working with the Centre for Sustainable Energy, prepared a Carbon Footprint Report². The SG are committed to mitigate the impacts of climate change.

¹ See detail on Futures Homes Standards 2023 here: <https://www.gov.uk/government/consultations/the-future-homes-and-buildings-standards-2023-consultation>
² See the report here: <https://impact-tool.org.uk/report?regionId=E04003838&geography=parish>

Net zero development

Sustainability must be considered at all stages of development to achieve net zero. Design features such as renewable energy and heating systems, energy efficient appliances and lighting, sustainable

transport infrastructure and facilities, electric vehicle charging, building materials, and quality of construction all contribute to reducing the carbon footprint of

The following net zero principles should be considered for all development throughout the Neighbourhood Area:

- i. Reduce embodied energy through the remodel and reuse of existing buildings and materials where feasible;
- ii. Design development to utilise minimal and low energy materials;
- iii. The retrofit of historic dwellings to improve their energy efficiency will be supported when it retains the existing character of the building¹ (see appropriate features for retrofit on page 56);
- iv. Consider the possible design measures for existing and new buildings (refer to the adjacent list and its example application to a dwelling on page 56) to improve energy efficiency. Development must demonstrate how it has sought to be net zero by utilising a combination of these, or other innovative, design measures;
- v. Provide facilities that encourage more sustainable transport options, including individual or communal electric vehicle charging points and bicycle parking. Employment uses can also encourage the use of bikes for local deliveries by providing space and charging points for larger bikes, such as cargo- or e-bikes;
- vi. Provide facilities that support waste reduction through composting and recycling; and

development, employees and residents.

- vii. Ensure energy efficient measures are sensitive to the character of the Conservation Area and historic buildings; and
- viii. The installation of solar panels on roofs will be supported in principle. However, solar panels should preferably match in colour to the surrounding roofing material e.g., slate imitation panels for a slate roof. Solar panels will typically be oriented and placed for the most favourable solar gain, but when possible they should be positioned on non street addressing rooflines.

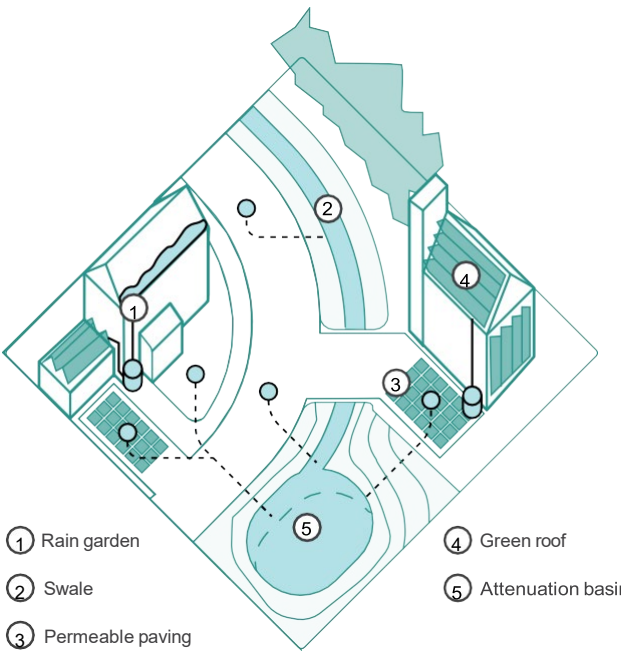
Water and Sustainable Urban Drainage Systems (SuDS)

The term SuDS stands for Sustainable Urban Drainage Systems. It covers a range of approaches to managing surface water in a more sustainable way to reduce flood risk and improve water quality whilst improving amenity benefits. East Dean and Friston Parish wants SUDs to be integral to the design of Green Infrastructure to improve climate change resilience.

SuDS work by reducing the amount and rate at which surface water reaches a waterway or combined sewer system. Usually, the most sustainable option is collecting this water for reuse, for example in a water butt or rainwater harvesting system, as this has the added benefit of reducing pressure on important water sources.

The following principles should be considered for all development throughout the Neighbourhood Area:

- ix. Infiltration, which allows water to percolate into the ground and eventually restore groundwater; and
- x. Attenuation and controlled release, which holds back the water and slowly releases it into the sewer network. Although the overall volume entering the sewer system is the same, the peak flow is reduced. This reduces the risk of sewers overflowing. Attenuation and controlled release options are suitable when either infiltration is not possible (for example where the water table is high or soils are clay) or where infiltration could be polluting (such as on contaminated sites).



¹ See Historic England's Guidance on how to improve energy efficiency in historic buildings here: <https://historicengland.org.uk/images-books/publications/eehb-how-to-improve-energy-efficiency/>

Figure 57: Diagram showing the best use of harvesting water systems rain garden, swales, permeable paving, green roofs

The most effective type or design of SuDS would depend on site-specific conditions such as underlying ground conditions, infiltration rate, slope, or presence of ground contamination. A number of overarching principles can however be applied:

- xi. Reduce runoff rates by facilitating infiltration into the ground or by providing attenuation that stores water to help slow its flow down so that it does not overwhelm water courses or the sewer network;
- xii. Integrate into development and improve amenity through early consideration in the development process and good design practices;
- xiii. SuDS are often as important in areas that are not directly in an area of flood risk themselves, as they can help reduce downstream flood risk by storing water upstream;
- xiv. Some of the most effective SuDS are vegetated, using natural processes to slow and clean the water whilst increasing the biodiversity value of the area;
- xv. Best practice SuDS schemes link the water cycle to make the most efficient use of water resources by reusing surface water; and
- xvi. SuDS must be designed sensitively to augment the landscape and provide biodiversity and amenity benefits

Rainwater Harvesting

Rainwater harvesting is a system for capturing and storing rainwater as well as enabling the reuse of in-situ grey water. Some design considerations include:

The following principles should be considered for all development throughout the **Neighbourhood Area**:

- xxi. Concealing tanks with complementary cladding;
- xxii. Use attractive materials or finishing for pipes, unsightly pipes should be avoided;
- xxiii. Combine landscape or planters with water capture systems; and
- xxiv. Use underground tanks.



Figure 58: Examples of SuDS designed as a public amenity and fully integrated into the design of the public realm, Sweden



Figure 59: Example of a rainwater harvesting tank in the shape of a beehive



Figure 60: Example of a modular water tank

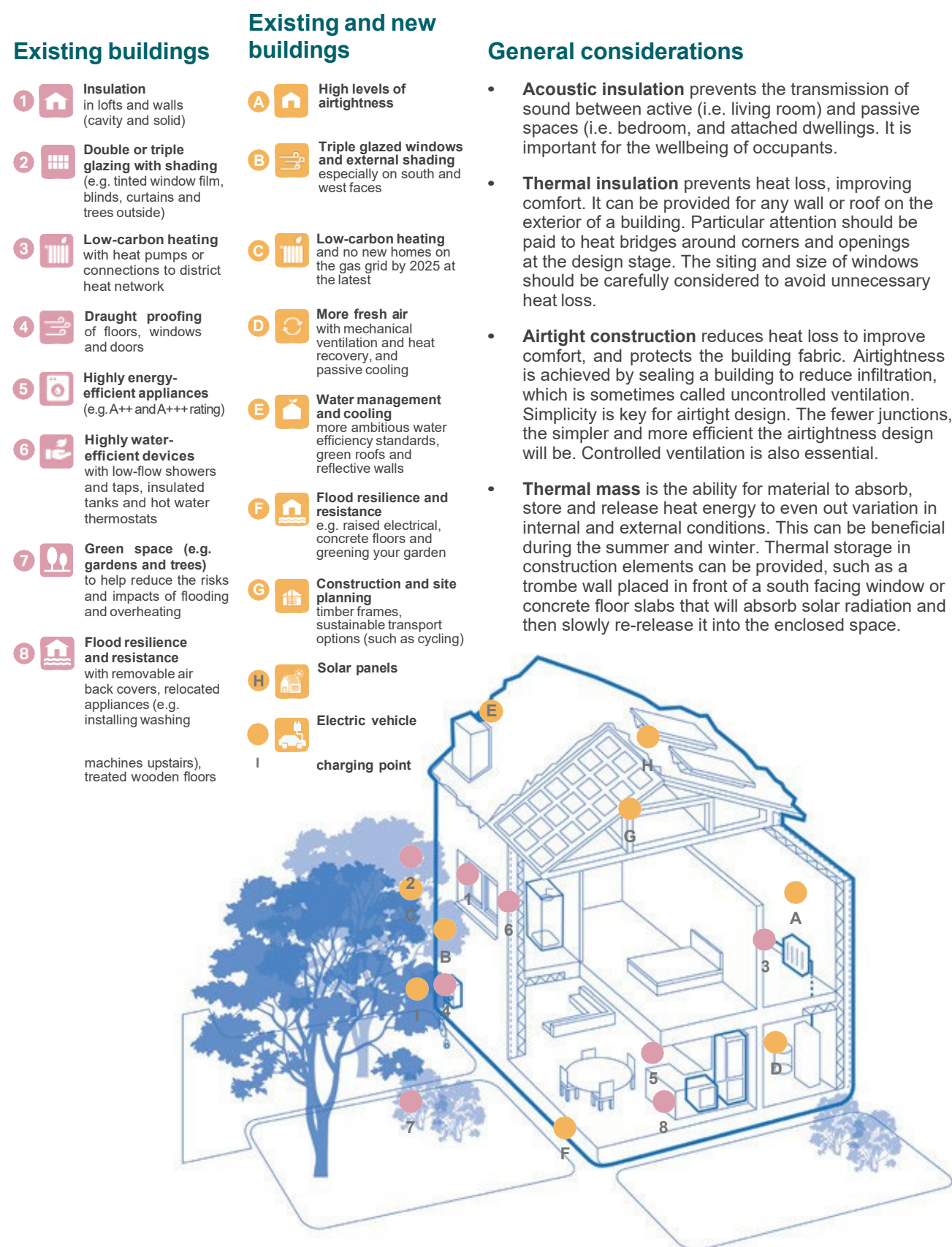


Figure 61: An indicative diagram highlighting general considerations to reduce the carbon impact of existing and new houses.

3.10 Wildlife

Biodiversity and wildlife habitats should be preserved accommodated wherever possible.

Wildlife Friendly Features

Please also refer to the biodiversity map and policy in the Neighbourhood Plan.

The following features should be considered for all development throughout the Neighbourhood Area:

- i. Roadside verges, hedges, and trees should act as natural buffers and should be protected when planning new developments;
- ii. Abrupt edges to development with little vegetation or landscape on the edge of the settlement should be avoided and, instead, comprehensive landscape buffering should be encouraged;
- iii. Developments and extensions should aim to strengthen biodiversity and the natural environment;
- iv. Ensure habitats are buffered. Widths of buffer zones should be wide enough and based on specific ecological function. These links should connect between existing green infrastructure to maintain or create new ecology corridors;
- v. All new fencing/walls to gardens should provide hedgehog holes;
- vi. Development proposals should include the creation of new habitats and wildlife corridors by planting wildflowers and

bulbs on verges and open spaces and aligning back and front gardens or installing bird boxes or bricks in walls and improving habitats at ponds;

- vii. Wildlife corridors should be included to enable local wildlife to travel to and from foraging areas and their dwelling area;
- viii. Large areas of artificial grass should be avoided and hard landscaping should be minimised; and
- ix. The loss of trees and garden space will be discouraged.



Figure 62: Examples of a bughouse decorating rear gardens or public green spaces.



Figure 63: Examples of a frog habitat decorating rear gardens or public green spaces.

Hedges

The following features should be considered for all development throughout the Neighbourhood Area:

- i. Hedges are preferred as boundary treatments across the NA to protect the rural atmosphere (with the exception of in the Old Village of East Dean Character Area where solid stone walls will also be preferred); and
- ii. Suitable native species for hedges include Yew, Beech, Hornbeam and Holm Oak, non native species should be avoided.



Figure 64: Examples of a hedge in the NA, natural boundary treatments like this one support biodiversity.