

Conservation Area Character Appraisal and Management Plan

East Dean (East Sussex)

Month 2015



Summary of Significance

The special character of

Introduction

1.1 Conservation Areas are defined as “areas of special architectural or historic interest, the character and appearance of which it is desirable to preserve or enhance” (Section 69 (1) (a) of the Planning (Listed Buildings and Conservation Areas) Act 1990).

1.2 The South Down National Park Authority has a duty to determine which parts of the Park have that special architectural or historic interest, to designate those parts as Conservation Areas, and to keep the Conservation Area under review.

1.3 East Dean was first designated as a Conservation Area by East Sussex County Council in 1969. With the creation of the South Downs National Park in April 2011, the National Park Authority became the Local Planning Authority for the village.

1.4 This Appraisal seeks to set out what the National Park Authority considers are the most significant elements which define the character of the Conservation Area; it has an important role in making informed and sustainable decisions about the future of the area. Whilst comprehensiveness may be sought, however, the omission of any particular feature should not be taken as meaning that it is of no significance.

1.5 It sits within a wider policy context, including:

- The Purposes and Duty of the South Downs National Park
- The National Planning Policy Framework
- The Wealden District (incorporating Part of the South Downs National Park) Core Strategy Local Plan (adopted February 2013), until such time as it is superseded by the South Downs National Park Local Plan
- English National Parks and the Broads. UK Government Vision and Circular 2010
- East Dean and Friston Village Design Statement

1.6 In looking at the area, issues which pose a threat to the quality of the area and any possibilities for improvement and enhancement have also been identified.

1.7 The document was the subject of a six week public consultation process

from (date) to (date). The draft document was available on the National Park Authority's website and all the households within the village were notified of it as part of the consultation exercise. Consultations were also sent to East Sussed District Council, Wealden District Council, East Dean Parish Council, and English Heritage

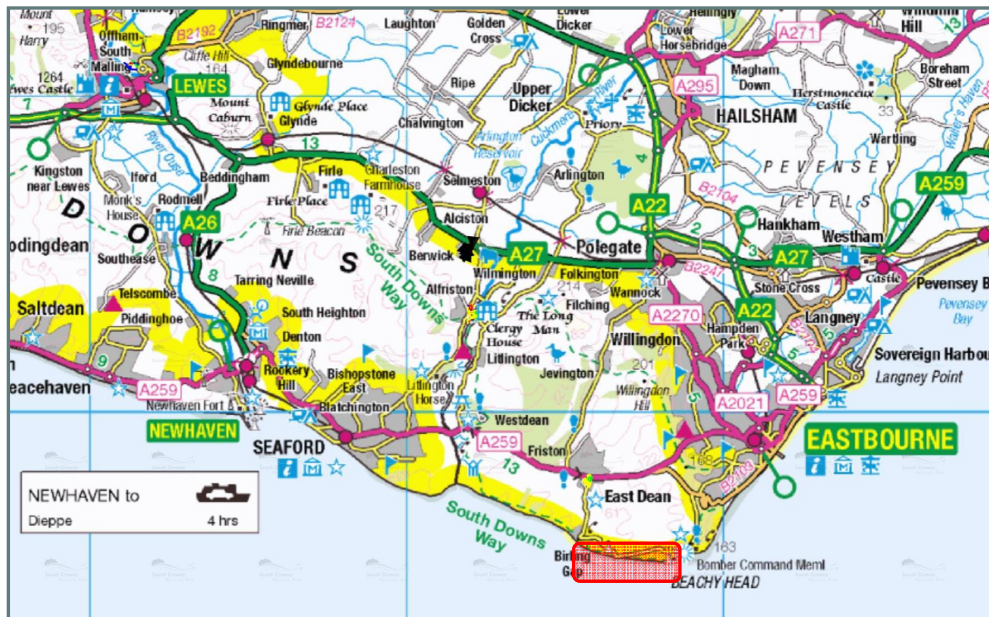
1.8 The amended document was adopted by the South Downs National Park Authority on <DATE>

Figure 0: Boundaries of East Dean Conservation Area

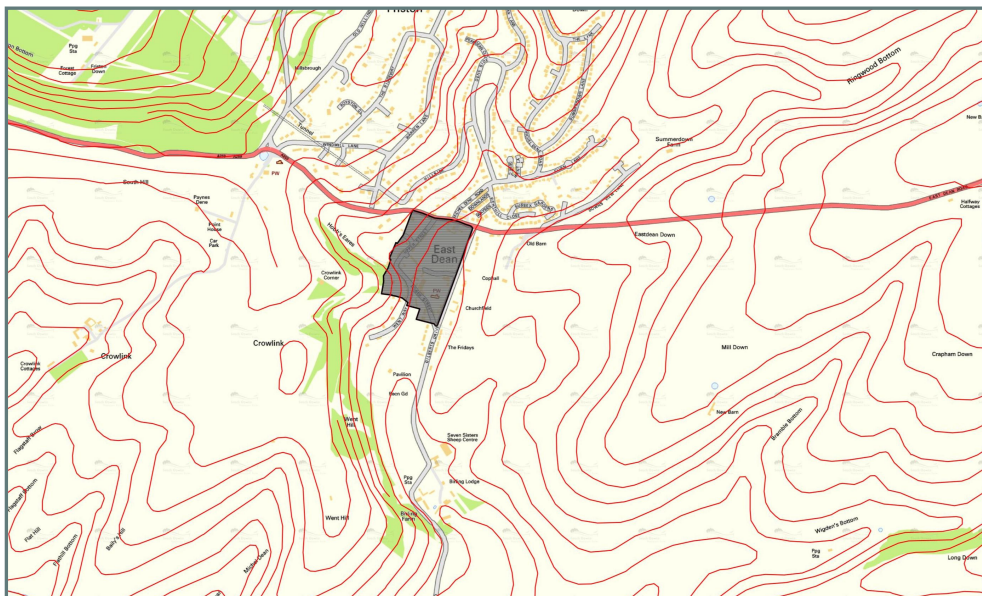


Location & Topography

2.1 East Dean lies between Seaford (0 miles to the west), and Eastbourne (0 miles to the east), and astride the A259 which links those two towns. This places it at the eastern end of the South Downs National Park (below)



2.2 Topographically, it sits within a dry valley surrounded by chalk downland (below)



Historical Development

3.1 An Anglo-Saxon origin for the village is indicated by its name, which is derived from the Old English word *denu*, meaning a valley. Dean is a common component of place names in Sussex and 'East' was presumably added to distinguish it from others, in particular West Dean 0 miles to the west.

3.2 Prior to the Norman Conquest, the village was held by the Countess Goda, a daughter and sister of English Kings, who was well connected in Anglo-Saxon and Anglo-Norman society. Alfred the Great held a manor in the area and the late Saxon or early Norman construction of the church tower supports the notion of a reasonably significant community by that time.

3.3 At the time of Domesday, in which the village is called *Esdene*, the tenant-in-chief in the village was Robert, Count of Eu. Wibert and Walter son of Lambert also held lands from Robert. There were seven households in the village, suggesting a small village with a population somewhere between 30 and 40.

3.4 Throughout much of its history, East Dean remained a fairly remote rural hamlet dependent largely on sheep husbandry.

3.5 The Tithe Map and the First Edition OS mapping (Figure 0) both show the historic layout of the village, centred around The Green, with the Church to the south-east. A smaller group, comprising Gore Farm plus a number of cottages and outbuildings, lies to the north, around the crossroads formed by the Seaford to Eastbourne Road with the minor lanes of the village.

3.6 By the time of the Second Edition OS (Figure 0), Gilbert's Drive appears, allowing the village to be by-passed by travellers to Birling Gap, as does The Gilbert Institute, built in 1884. The Third Edition is almost exactly the same and it is only with the Fourth Edition (Figure 0) that new development starts to appear in the form of a series of semi detached houses known collectively as "The Fridays", on the eastern side of Gilbert's Drive and the road layout for the Downland Estate, to the north of the historic village.

3.7 It was the development of the Downlands Estate that ended the village's relative isolation. The setting out of the roads and development of the earliest houses, some quite modest and others rather larger, ran from 1927 until the start of the Second World War brought development to a halt. However, it recommenced post-war and the estate is now fully developed, with only some in-

filling in recent years.

3.8 The estate was developed on the land that had belonged to Gore Farm and the change in land-use away from agriculture is reflected in the village, with tourism playing a more significant role in the economy of the village. The development of the (what) as a BUPA medical facility has also introduced a new type of activity into the village.



Figure 0 - The Tithe Map of the 1840s

Figure 0 – View of East Dean by ? dated ?



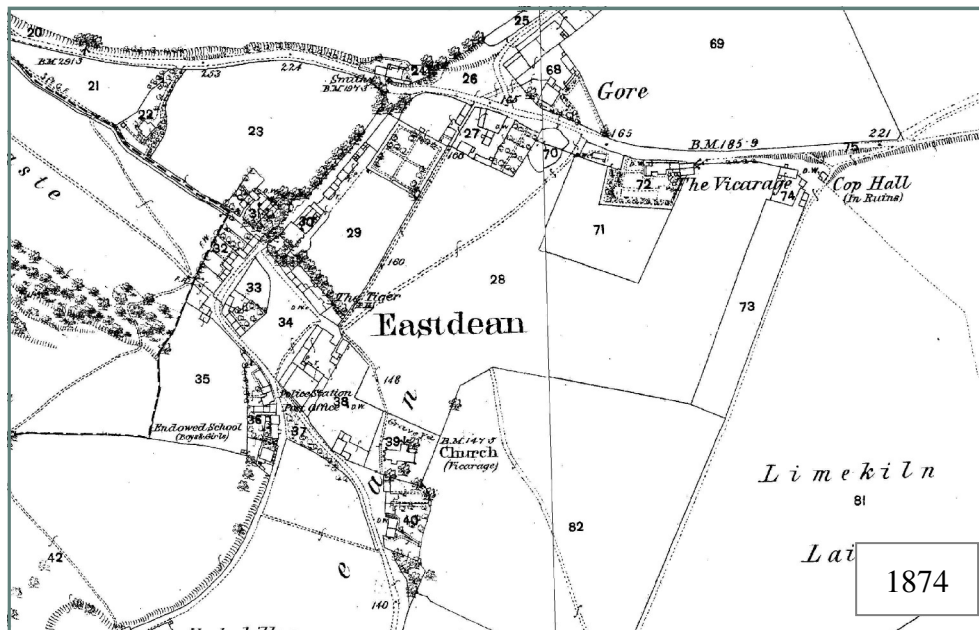
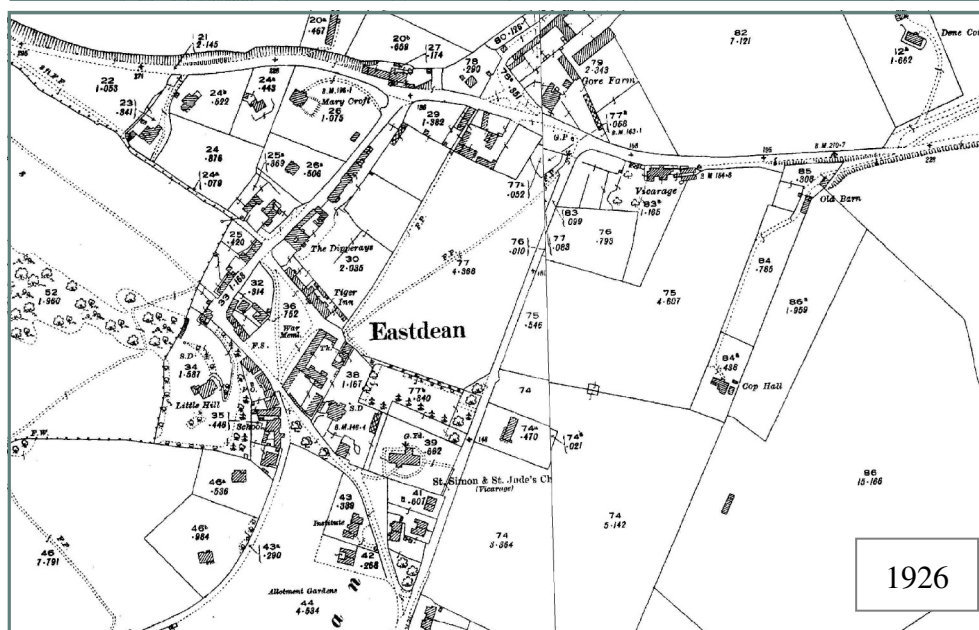
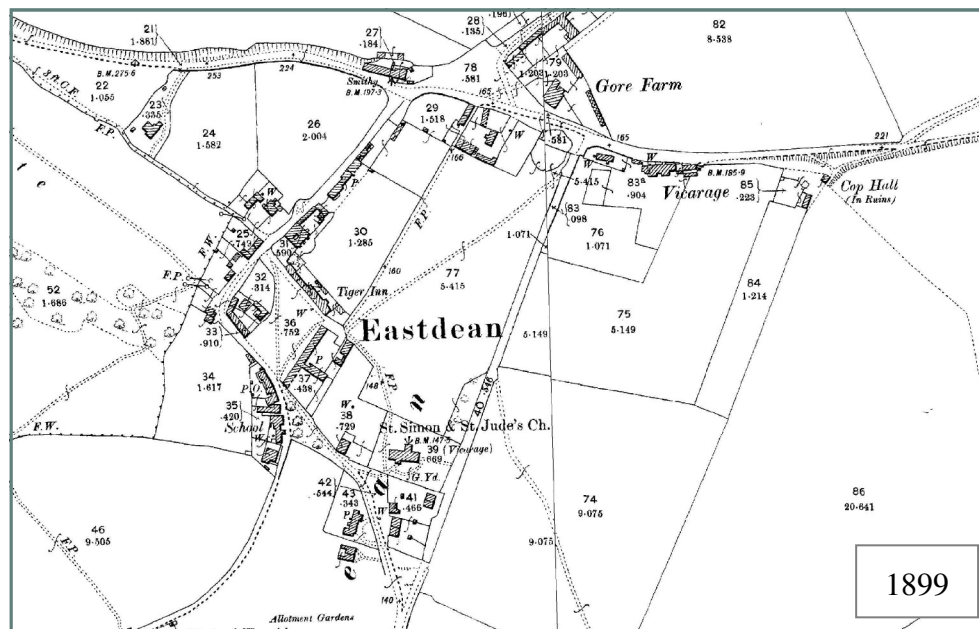


Figure 0: Ordnance Survey mapping of East Dean



Character Analysis

4.1 The elements which make a positive contribution to the special character of the Conservation Area are shown on a map which can be found at the back of this document (Figure 0)

Entrance & Boundaries

4.2 The current Conservation Area boundaries largely incorporates the historic settlement as it appears on the Tithe Map and early editions of the OS mapping. The exceptions are the former Gore Farm, which was demolished in (date) and replaced with modern suburban development, Forge Cottage and The Old Parsonage (Q: Why are these excluded?)

Settlement Form

4.3 The most obvious and attractive feature of the village is its arrangement around The Green (Figures 0 and 0), with the grade II listed War Memorial as a focal point (Figure 0), and attractive buildings as a backdrop. The arrangement of roads and buildings contrive to enclose this space, with views of the central area only opening up when almost there.

4.3 Development within the Conservation Area is essentially arranged around The Green and the lanes, Upper Street, Lower Street and Went Way which lead away from it.

Buildings and Structures

4.4 As befits a remote and modest village, the buildings are largely modest in scale and architectural ambition.

4.5 The oldest building that survives is the Parish Church of St Simon and St Jude, with its Saxo-Norman tower of three stages (Figure 0). The tower sits on the north side of the present nave and this positioning, along with the former presence of an arch leading to an apse in the east side of the tower, suggest that it may have originated as a “tower-nave” church. This is an unusual form of Anglo-Saxon church in which the ground floor of the tower forms a small nave.

4.6 The existing nave and chancel were added to the tower in the 12th century

and the porch in the (What?) century. The original nave was lengthened in 1885 and again in 1961. The church is built largely of flint, with stone dressings to the windows and doors, and clay tiles.

4.7 The earliest surviving secular building in the Conservation Area is Little Lane Cottages, which is 17th century or perhaps earlier. It is a two storey structure, faced with flints with red brick dressings and quoins, and with a half hipped tiled roof.

4.8 Most of the other buildings in the Conservation Area are either 18th or 19th century in date and are united by their modest scale and use of a quite restricted palette of materials – flint (sometimes painted), with brick or stone dressings, and clay tiles to the roofs. Brick is mostly used as an ancillary material to flint. Slate makes an occasional appearance on roofs, most notably on the farm range that forms the south-east boundary of the Green. (Figure 0). The palette of joinery is also quite traditional, with flush fitting casements and sashes being the prevailing forms

4.9 The Dipperays, with its gazebo, and its accompanying stables are the only conspicuously ‘polite’ architecture within the Conservation Area (Figure 0) and this is reflected in its Grade II* listed status. The manner in which it rises above the more humble buildings of The Green when viewed from the south produces a most attractive juxtaposition. The main house comprises two storeys plus attic, with a front elevation of alternating red bricks and grey headers, and a tiled roof. There are two curved bays on the front elevation and these incorporate both black and red mathematical tiles.

4.10 The Gazebo, which forms part of the same Grade II* listing, is a small, square brick-built structure with a pyramidal tiled roof surmounted by a ball finial. The stables are a separate, grade II, listing and are built of flint with red brick dressings.

4.11 18th century cottages include Derby Cottage and The Derbies (Figure 0), The Croft and The Cottage on Lower Street (Figure 0), Glebe Cottage and the house attached to Weller’s Stores on Upper Street (Figure 0), and The Old Bakehouse on Went Way (Figure 0)

4.12 A small group of buildings at the southern end of the Conservation Area, which post-date the tithe map, are again linked by their consistent use of materials and architectural detailing and have the appearance of ‘estate’ buildings. The group comprises 1 to 4 Gilberts Drive, 1 & 3 Lower Street and The Gilbert Institute of 1884. (Figure 0)

4.13 There are a number of other ‘structures’ within the village that make a

positive contribution to the familiar scene, including K6 telephone kiosks a red pillar box, and a couple of traditional 'East Sussex' style directional finger posts. (Figure 0)

4.14 There have been some more recent developments within the village, including the Village Hall with its associated car park, and the expansion of East Dean Grange as a Residential Home by BUPA. However, by virtue of careful design or fortuitous chance, these developments are fairly neutral in their impact on the character of the village.

Open Spaces & Greenery

4.15 The Green is the most significant open space.

4.16 The land adjoining The Green to the north-west remains in use as allotments, which makes a positive contribution in retaining a rural feel to the Conservation Area (Figure 0).

4.17 There are also significant open areas in the northern half of the Conservation Area. Whilst these do not have the importance of The Green, they do perform a valuable and significant role in the character of the area, not least as a buffer between the historic village and the suburbia beyond.

Landscape and Setting

4.15 The position of the village in a valley within the eastern downs produces both a sense of isolation and remoteness from the wider developed areas and also a series of views, particularly across The Green eastward to the Downs beyond, which root the village in its rural setting.

Issues & Opportunities

5.1 Having considered the positive characteristics of the Conservation Area, it is necessary to look at those less positive aspects which present opportunities for improvement.

5.2 Poor modern development ?

5.3 The historic building stock within the village is in good condition, the Building at Risk survey undertaken in 2012-2013 looked at both listed and unlisted buildings within the Conservation Area and, of the 000 buildings surveyed, none were found to be at risk or even vulnerable

5.6 The gradual loss of architectural features and historic joinery always has the potential to incrementally degrade the character of any Conservation Area. On unlisted buildings, some of these changes are beyond the normal ambit of the planning system but can be addressed by using an Article 4 Direction, an administrative instrument provided within the planning acts which can remove specified householder permitted development rights.

5.7 There are few examples of uPVC windows and doors within the Conservation Area but there are more examples of joinery fabricated in wood but not in a traditional form. Reinstatement of traditional joinery would enhance the appearance of these buildings and their contribution to the wider Conservation Area.

5.8 Undoubtedly, other small but incremental changes have occurred within the village; a detailed photographic survey, repeated periodically, could provide an accurate picture of the situation and this is a task that might be undertaken by the parish council and volunteers, should the community perceive a problem. However, the general impression is that the issue does not seem to be acute and an Article 4 Direction may represent an over-reaction at present.

5.9 Enhancement opportunities - wirescape?

5.9 As a historic settlement, all of East Dean has archaeological potential for below ground archaeological remains as well as historic buildings and structures. Archaeological remains, whether above ground structures, earthworks, or buried deposits, often contribute directly to the sense of place evident in the present day-area. They also represent a potentially rich resource for future research, interpretation and education. For further information on archaeological interest contact [\(link to HCC archaeologist\)](#)

Photographic Survey



Figure 0 - The Green forms the centrepiece of the village and its most important open space. The listed War Memorial provides a focal point to The Green. The location of the village on the side of a dry valley is apparent in the fall of the land from right to left (west to east) is clear and the views out from the village to the Downs to the east root the settlement in its Downland setting.





Figure 0: A panoramic view of the Green

Figure 0 - The War Memorial (above) was erected in 1920 and is now Grade II listed. The railings are a later addition.

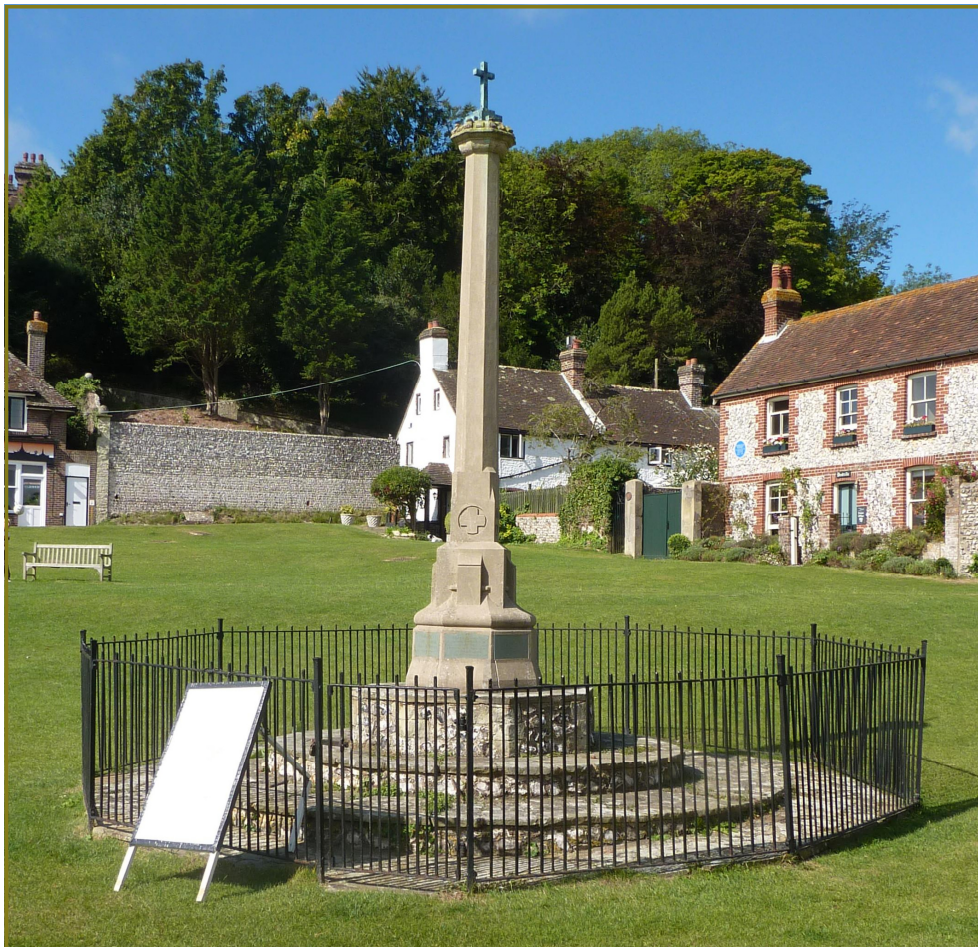




Figure 0: The Parish Church of St Simon and St Jude



Figure 0: Little Lane Cottage

Figure 0: Gore Cottage & Went Hill Cottage, Seaford Road





Figure 0 - The Dipperays is one of the few consciously 'polite' buildings within the village. The house is Grade II*, as is the small gazebo seen on the right in the photograph below.





Figure 0: Derby Cottage and The Derbies, Grade II listed buildings

Figure 0: The Croft and The Cottage, Lower Street - Grade II listed buildings





Figure 0: Glebe Cottage and the house attached to (the former) Wellers Stores.
Grade II listed buildings





Figure 0: The Old Bakehouse, Went Way. Grade II listed building.

Figure 0: Numbers 1 to 5 Upper Street. 1,2 and 4 are Grade II listed, whilst 3 and 5 represents later infilling





Figure 0: The Gilbert Institute

Figure 0 : Address





Figure 0: 0 and 0 Gilbert Drive (above) and 0 and 0 Gilbert Drive (below). Although not listed, these buildings make a positive contribution to the character of the Conservation Area





Figure 0: Traditional street furniture can make a positive contribution to the character of the Conservation Area





Figure 0: East Dean Grange





Management Plan

6.1 At the beginning of this document the legal definition of a Conservation Area as “areas of special architectural or historic interest, the character and appearance of which it is desirable to preserve or enhance” was acknowledged.

6.2 Taking this definition as a starting point, it follows that the proper management of a Conservation Area will have as its objective both the protection of its existing qualities and its enhancement in ways that build upon its special interest. Four broad aims can be defined:

- To ensure that the Heritage Assets (the Conservation Area and its constituent buildings and other historic features) are properly and effectively designated
- To ensure that the Heritage Assets are in good condition
- To secure the conservation and enhancement of the character and appearance of the Heritage assets
- To secure the enhancement of the spaces within and around the Heritage assets

Proper Designation of the Conservation Asset

6.3 In addressing this objective, it is necessary to consider whether:

- There are any areas outside the Conservation Area boundary which should be brought into it
- There are any areas within the current Conservation Area boundary that have seen inappropriate changes erode their quality to the extent that they should be removed from the Conservation Area
- There are any buildings which should be added to the Statutory List of Buildings of special architectural or historic interest
- There are any buildings which should be added to a Local List of Historic Buildings.

6.4 In undertaking this review of the Conservation Area, no potential amendments to the existing boundaries, either additions or removals, were identified.

6.10 In reviewing the existing unlisted buildings, none were identified as potential candidates for statutory listing, at least from a superficial external

inspection. However, 0 were considered to be eligible for addition to the emerging Local List, the

ACTION 1 – that be added to the emerging Local List of Historic Buildings

Condition of the Heritage Asset

6.15 To meet this objective it is necessary to identify those buildings or other features of the Conservation Area that are currently in poor condition and to identify a strategy to secure their renovation.

6.16 A 'Buildings at Risk' survey is, as its name suggests, a systematic inspection of buildings, looking at their overall condition and specific areas of decay as well as their status in terms of use or vacancy. It would normally include a photographic record of each building, although this would not usually comprise more than one photograph per building.

6.17 Buildings at Risk surveys are frequently restricted to listed buildings but that commissioned by the National Park Authority in 2012-13 also looked at unlisted buildings within the rural Conservation Areas, allowing some overview for each one.

6.18 Condition monitoring is an on-going process. This is best achieved at a local level, perhaps led by the Parish Council, which is likely to have better means of informal access to buildings within the village.

6.19 The historic building stock in East Dean is generally in very good condition. Of 000 buildings surveyed, none were found to be at risk or even vulnerable

ACTION 2 – that the existing Buildings at Risk survey for the village commissioned by the National Park Authority be enhanced with more photographs to form as comprehensive as possible an overview of the condition of the historic environment within East Meon

Conservation and enhancement of the character and appearance of the Heritage Asset

6.20 Protection of existing quality will be achieved through careful application of the planning system in general and the Development Management process in particular. One way in which this can be facilitated is by the provision of pre-application advice to householders, architects and developers to achieve a high quality of design. The National Park Authority has a system for the provision of such advice, which is explained on its website.

6.21 As a historic settlement East Dean has archaeological interest and the potential for below ground archaeological remains as well as historic buildings and structures. Archaeological remains, whether above ground structures, earthworks, or buried deposits, often contribute directly to the sense of place evident in the present day-area. They also represent a potentially rich resource for future research, interpretation and education. For further information, the County Archaeologist can be contacted on (Email address).

ADVICE – that anyone considering development of any form which affects East Dean Conservation Area or its setting should seek pre-application advice from the National Park Authority before submitting an application and, ideally, before starting any design work

ADVICE – that anyone considering development of any form which falls within the village should seek pre-application advice from the National Park Authority’s archaeological advisor, East Sussex County Council, before submitting an application and, ideally, before starting any design work

6.22 Once an application has been received, it will be assessed against a range of national and local planning policies. At present these include the Planning (Listed Buildings and Conservation Areas) Act 1990, the National Planning Policy Framework, the Purposes and Duty of the National Park, the relevant Local Plan, and conservation best practice (including this document).

6.23 Whilst discussing proposals with applicants, both at pre-application stage and in the course of determination, opportunities may arise to achieve

improvements both to the proposal itself and its contribution to the wider character of the Conservation Area. These may not originally form part of the proposal. The Local Planning Authority will seek to maximise these opportunities as far as possible.

ACTION 3 – that Planning and Listed Building Consent applications be determined in accordance with all relevant legislation and guidance, with any opportunities to secure improvements during that process being secured as far as possible

6.24 The special character of any Conservation Area can be degraded through the loss of architectural features and traditional materials, particularly roofing materials. Individually, these changes may be relatively minor but taken collectively they can represent a real threat to the special character.

6.25 This problem can be addressed in two ways. One would be to bring those minor works within the ambit of the planning system using a measure called an Article 4 Direction, which removes ‘permitted development rights’ from specific domestic properties. The other, complementary, way would be to encourage the reinstatement of architectural features and traditional materials with a grant scheme targeted at such works.

6.26 At present there does not appear to be a significant problem of this nature in East Dean. It must also be acknowledged that the provision of a grant budget is unlikely in the current circumstances and for the foreseeable future. Both factors inform the Action below. Nevertheless, it is important that the historic building stock should be monitored so that an appearance of an emerging problem is identified at an early stage. In reality, this means that everyone, National Park and District Authority officers and members, Parish Councillors and the community, should keep an eye on gradual changes affecting the character of the village.

ACTION 4 – that the loss of architectural features and traditional materials be monitored by all parties and for the National Park Authority to consider making an Article 4 Direction, in consultation with the community, should it emerge as a problem adversely affecting the special character of East Dean Conservation Area.

Enhancement of the spaces within the Heritage Asset

6.27 Conservation Area designation is a response to the qualities of the settlement as a whole and it is important to recognise that the spaces between the buildings are a significant component in this.

6.28 Nevertheless, significant improvements to that quality can be achieved by pro-active work in the public realm. Although it remains difficult to secure finance for such projects, it is by no means impossible to put together a funding package from a number of sources.

ACTION 5 – that the National Park Authority supports, in principle and in association with other partners, the

6.29 Other less significant but still worthwhile identified improvements would be the undergrounding of the overhead cables through the village and the replacement of the modern street nameplates with something of higher quality, attached to walls wherever possible.

ACTION 6 – that the National Park Authority supports, in principle and in association with other partners, the undergrounding of overhead wires within the Conservation Area

Responsible Conservation is a Partnership!

6.30 This document has been prepared by the National Park Authority as the Local Planning Authority for East Meon. However, it is very important to stress, and for other parties to understand, that effective management of any Conservation Area is the responsibility of all organisations and all parties who undertake works which affect the character of the area.

6.31 Section 11A(2) of the National Parks and Access to the Countryside Act 1949 sets out a wide range of bodies to which the National Park duties apply.

6.32 At a local level, this includes the residents of the village and the Parish Council. Slightly more removed, it means Wealden District Council, East Sussex County Council as the Local Highway Authority and in its other activities, and all those Statutory Undertakers which undertake works in the public realm.

Annex: Listed Buildings

The Parish Church of St Simon and St Jude, Gilbert's Drive

Grade I

30.8.66.

Built of flint cemented in parts with stone dressings and tiled roofs. Chancel, nave, tower (now vestry) in the centre of the north side of the building and south porch. Tower Saxon or early Norman in 3 stages, chancel transitional Norman, north wall of nave Norman, south wall C14, west wall rebuilt in 1885, porch C15. Kingpost roof.

The Old Bakehouse, Went Way

Grade II.

30.8.66.

C18. Two storeys. Two windows and one window-space. Faced with cobbles with long and short red brick dressings and quoins. Eaves cornice. Slate roof. Glazing bars intact. Doorway with flat hood on brackets and double doors of 6 fielded panels. Curved bay window on ground floor to north of this.

New House Farmhouse and Yard Cottage, The Green

Grade II

One building, originally the farmhouse. C18. Two storeys. Three windows. Faced with flints with red brick dressings and quoins. Tiled roof. Casement windows.

Barn to the south-west of New House Farmhouse, The Green

Grade II

C18. Flints with red brick dressings and quoins. Half-hipped tiled roof.

Derby Cottage and Nos 2, 3 and 4 The Derbies, Upper Street,

Grade II

Long L-shaped block. C18. Two storeys. Five windows. Faced with flints with red brick dressings and quoins, the south wing painted. Tiled roof. Casement windows.

The Stables to the north-east of The Dipperays, Upper Street

Grade II

C18. Two storeys. Faced with flints with red brick dressings and quoins. Tiled roof. Gabled loft door with hoist on north side. Two gabled dormers on south.

East Dean War Memorial, The Green

Grade II

GV

War Memorial. Designed in 1919 and erected 1920 by Arthur S Haynes of Northiam. Tapering octagonal shaft of green sandstone with embattled cap surmounted by small bronze cross. Base of shaft has crosses within circles on 4 sides, bulbous box and octagonal plinth. Plinth is inscribed, 'To the Glory of God. A permanent reminder of those from East Dean and Friston who died that right should triumph. Erected 1920'. The whole stands on 3 circular steps of flint paved with sandstone and is surrounded by 10-sided iron railings which are not of special architectural or historic interest. The height of the memorial is 18ft 6 inches.

Stables and Barn to south-east edge of The Green

Grade II

Formerly the farm buildings to New House Farmhouse. Long building whose roofline is important to the general picture of The Green. One storey on that side, 2 storeys on south-east side. The south-west half is C18 with a tiled roof, the north-east half C19 with a slate roof. Gabled loft door in the centre. South-east front weather-boarded.

The Croft and The Cottage, Lower Street

Grade II

C18. Two storeys. Three windows. Faced with flints with red brick dressings and quoins. Half-hipped tiled roof. Casement windows. Two gabled porches.

Gore Cottage and Went Hill Cottage, Seaford Road

Grade II

C18. Two storeys. Four windows. Faced with flints with red brick dressings and quoins. Hipped tiled roof. Glazing bars intact.

Nos 1, 2 and 4, Upper Street

Grade II

Mid C19. Two storeys. Nos 1 and 2 four windows, No 4 two windows. Faced with flints with red brick dressings and quoins. Tiled roofs. Casement windows.

Glebe Cottage and the House attached to Weller's Stores , Upper Street

Grade II

C18. Two storeys and attic. Five windows. One dormer. Faced with flints with brick dressings and quoins, all painted. Tiled roof. Glazing bars intact.

Nos 1, 2 and 3 The Green

Grade II

GV

30.8.66

C18 range. Two storeys. Twelve windows. Faced with flints with red brick dressings and quoins. The Tiger Inn painted. Tiled roof. Casement window.

Nos 1 and 2 Little Lane Cottages, Upper Street

Grade I

30.8.66.

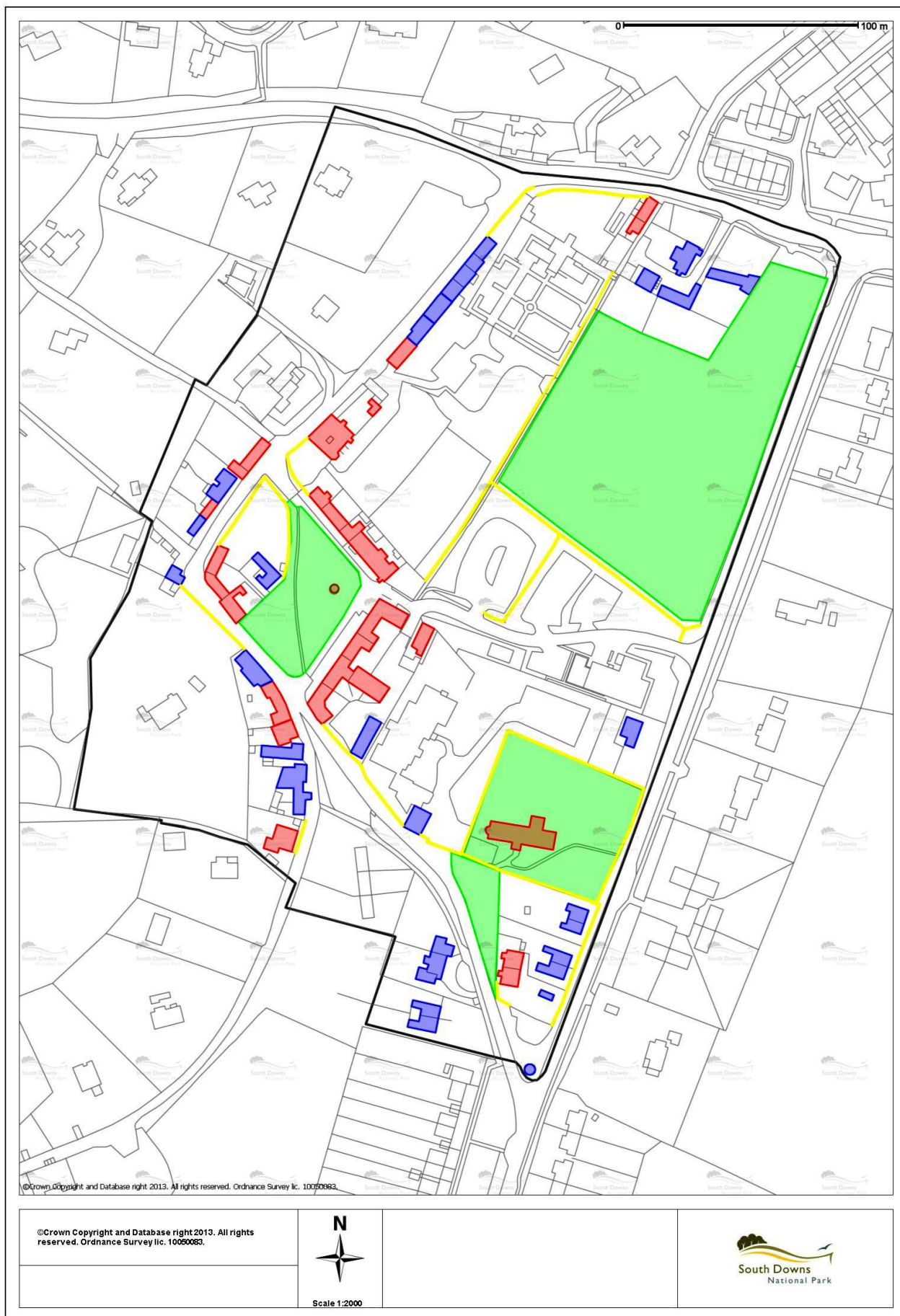
C17 or earlier. Two storeys. Three windows. Faced with flints with red brick dressings and quoins. Half-hipped tiled roof with pentice to east half. Casement windows. Pointed stone doorway.

The Dipperays and Gazebo, Upper Street

Grade II*

13.10.52 (The Dipperays) & 30.8.66 (Gazebo)

Good late C18 house. Two storeys and attic. Three windows. Two pedimented dormers. Red brick and grey headers alternately with rusticated quoins of the same. Flush stringcourse of grey headers. Dentilled eaves cornice. Tiled roof. Two curved bays on ground and first floors, the base of red brick and grey headers, above of black (and in one place red) mathematical tiles. Glazing bars intact. Doorway up 5 steps with fluted pilasters, pediment and door of 6 fielded panels. Side walls of flints, with 2 Venetian windows and 2 blocked ditto in south-west wall. At north-east corner a flint wall joins the house to a small square Gazebo of red brick and grey headers with a pyramidal tiled roof surmounted by a ball finial.



Created by David Boyson on 17 December 2013